

PLAN COMMISSION MEETING
Monday, October 8, 2012
Earl McGovern Board Room, 7:00 P.M.



PLEASE TAKE NOTICE that a meeting of the Brown Deer Plan Commission will be held in the Earl McGovern Board Room at the Village Hall of the Village of Brown Deer, 4800 West Green Brook Drive, Brown Deer, Wisconsin at the above noted time and date, at which the following items of business will be discussed and possibly acted upon:

- I. Roll Call
- II. Persons Desiring to be Heard
- III. Consideration of Minutes: August 13, 2012 – Regular Meeting
- IV. Report of Staff/Commission Members
- V. Unfinished Business
- VI. Business Items
 - A) Review and Recommendation of a Supplemental Development Agreement for an addition to the multiple family development known as Deerwood Crossing, 4195 W. Bradley Road
 - E) Review and Recommendation of a Certified Survey Map for a land combination at 4195 W. Bradley Road
- VII. Adjournment

A handwritten signature in black ink that reads "Russell Van Gompel". The signature is written in a cursive style and is positioned above a horizontal line.

Russell Van Gompel, Village Manager
October 4, 2012

PERSONS REQUIRING SPECIAL ACCOMMODATIONS FOR ATTENDANCE AT THE MEETING SHOULD CONTACT THE VILLAGE CLERK AT LEAST ONE BUSINESS DAY PRIOR TO THE MEETING.

**BROWN DEER PLAN COMMISSION
AUGUST 13, 2012 MEETING MINUTES
HELD AT THE BROWN DEER VILLAGE HALL
4800 WEST GREEN BROOK DRIVE**

The meeting was called to order by President Krueger at 7:00 P.M.

I. ROLL CALL

Present: President Carl Krueger; Trustees: Jeff Baker, Tim Schilz; Commissioners: Ryan Schmitz, Bill Hoffmann, Jeff Jaroczynski, Dan Bednar

Also Present: Russell Van Gompel, Village Manager; Nate Piotrowski, Community Development Director; Robert Halverson, Police Captain

Excused: Commissioners: Al Walters, Susan Bellehumeur

II. PERSONS DESIRING TO BE HEARD

None.

III. CONSIDERATION OF MINUTES: June 11, 2012 – Regular Meeting

It was moved by Commissioner Schmitz and seconded by Commissioner Hoffmann to approve the regular meeting minutes of June 11, 2012. The motion carried unanimously.

IV. REPORT OF STAFF/COMMISSION MEMBERS

None.

V. UNFINISHED BUSINESS

None.

VI. NEW BUSINESS

A) Public Hearing and review and recommendation of a rezoning at 3920 W. Parkland Avenue from B3-Commercial to R3-Residential

Mr. Piotrowski reviewed the proposal.

President Krueger opened the public hearing at 7:02 p.m. There were no public comments.

President Krueger closed the public hearing at 7:03 p.m.

President Krueger asked about the land use of the property on the south side of Parkland Avenue. Mr. Piotrowski replied that this parcel was the location of Rollie's Tavern.

Commissioner Schmitz asked if this rezoning action depended on the proposed text amendment later in the evening's agenda. Mr. Piotrowski replied that the two issues were separate but in the case of the Parkland duplex both changes were necessary to make the use legal and conforming.

It was moved by Commissioner Hoffmann and seconded by Commissioner Bednar to recommend approval of the rezoning at 3920 W. Parkland Avenue to the Village Board. The motion carried unanimously.

B) Public Hearing and review and recommendation of a text amendment to Sec.121-158 (c)(1) related to lot size requirements for multiple family dwellings in the R3-Residential zoning district

Mr. Piotrowski reviewed the proposal.

President Krueger opened the public hearing at 7:09 p.m. There were no public comments.

President Krueger closed the public hearing at 7:10 p.m.

It was moved by President Krueger and seconded by Commissioner Hoffmann to recommend approval of the text amendment to Sec. 121-158 (c)(1) to the Village Board. The motion carried unanimously.

C) Review and Recommendation of a Development Agreement for a handbag retail store at 8742 N. Deerwood Drive

Mr. Piotrowski reviewed the proposal

Commissioner Jaroczynski questioned the delivery hours listed in the agreement. Mr. Piotrowski indicated that there was a typo on page 5 of the agreement and that delivery hours were to be from 12pm-5pm.

Trustee Schilz asked if the rear of the first floor of the building was used for retail purposes. President Krueger replied that only the front end areas were utilized for retail.

It was moved by Commissioner Schmitz and seconded by Commissioner Bednar to recommend approval of the development agreement for a handbag retail store at 8742 N. Deerwood Drive to the Village Board. The motion carried unanimously.

D) Second Review of a Conditional Use Permit for an outdoor beer garden and recreational activities at 7651 N. Teutonia Avenue

Mr. Piotrowski discussed the reasoning for why the review has returned to the Plan Commission and introduced Captain Halverson of the Brown Deer Police Department. Captain Halverson detailed the recent calls for service at the property. He also noted that officers checked the location for proper working conditions of a mandated ID card reader and found that ID checking was inconsistent, no batch reports were printed and that there was a lack of training on the equipment.

Emily McIntyre representing Jill McNutt, the owner of Parkview Pub, stated that the ID card reader does not print a receipt but it could only print a report using extra technology. She added that pub staff ID anyone who appears underage.

President Krueger asked if the Police Department recommended rescinding the conditional use permit. Captain Halverson stated that this was the Department's recommendation because of inconsistent scanning, the lack of receipts and lack of training on the equipment.

Commissioner Jaroczynski asked what type of ID's were scanned and if the scanner was portable and could be used in the beer garden along with the main bar. Ms. McNutt replied that the scanner was portable and that it only scanned state ID's or driver's licenses.

Commissioner Bednar asked why the Police Department felt that all patrons needed to be scanned. Captain Halverson stated that scanning all patrons provided for better security and would allow the Police Department to know who was in the premises in case criminal situations arose.

Commissioner Jaroczynski asked if conditional use permit could be reinstated once rescinded. Mr. Van Gompel replied that he felt it would be within a property owner's right to reapply but he believed that it would be difficult to regain the use after it was revoked.

Commissioner Bednar asked if the Police Department had any issues directly related to the beer garden. Captain Halverson replied that there was no Police action within the beer garden.

Trustee Schilz discussed the historical reasoning why provisions relating to the entire property were included in the beer garden conditional use. He noted that if some of the broader property-wide provisions were not included, the Village Board may likely have rejected the beer garden permit.

It was moved by Trustee Baker and seconded by Commissioner Hoffmann to recommend the rescinding of the Parkview Pub conditional use permit for an outdoor beer garden and recreational activities to the Village Board.. The motion carried unanimously.

E) Review and Recommendation of a permanent Conditional Use Permit for a bicycle trail at various locations in the Village of Brown Deer

Mr. Piotrowski reviewed the proposal and indicated the positive support the trail has seen since its inception.

It was moved by President Krueger and seconded by Commissioner Schmitz to recommend that the conditional use permit for the bicycle trail be made permanent. The motion carried unanimously.

VII. ADJOURNMENT

It was moved by Commissioner Schmitz and seconded by Commissioner Hoffmann to adjourn at 7:50P.M. The motion carried unanimously.



Nate Piotrowski, Community Development Director



REQUEST FOR CONSIDERATION

COMMITTEE CONSIDERATION: Plan Commission
ITEM DESCRIPTION: Review and Recommendation of a Supplemental Development Agreement for an addition to the multiple family development known as Deerwood Crossing, 4195 W. Bradley Road <i>Nathaniel Piotrowski</i>
PREPARED BY: Nathaniel Piotrowski, Community Development Director
REPORT DATE: October 4, 2012
VILLAGE MANAGER'S REVIEW/COMMENTS: <input type="checkbox"/> No additional comments to this report. <input type="checkbox"/> See additional comments attached.
Applicable Land Use Regulation: Village Code Sec. 121-246 through 253
VILLAGE ATTORNEY REVIEW: <input type="checkbox"/> Village Attorney has reviewed documents. <input type="checkbox"/> Village Attorney has not reviewed documents. <input checked="" type="checkbox"/> Documents provided to Village attorney.
COMPREHENSIVE PLAN REVIEW: <input checked="" type="checkbox"/> Staff has reviewed request for consistency with the Comprehensive Plan.

ANALYSIS:

Jewish Family Services, the owner of property at 4195 W. Bradley Road is proposing to add a 30 unit addition to their Deerwood Crossing Residential Care Apartment Complex. This expansion was contemplated with the original development and the Village previously transferred land to JFS for this expansion in exchange for the Community Center space. The addition will add new underground parking, and surface parking. The site plan also calls for connections to the existing stormwater management system and a matching of building materials and aesthetics.

Staff has reviewed the project and finds the design to be compatible with the existing development. Additionally the project will extend a sidewalk from Bradley Road to Teutonia Avenue while adding an improved bus stop location. Added landscaping and signage will help to positively transform what is currently a simple grass filled lot and corner at the intersection of Bradley Road and Teutonia Avenue.

Staff's main concern is the proposed overflow parking area on the undeveloped Wooddale Avenue lot which seems unnecessary and obtrusive. Therefore Staff has drafted language in the supplemental Development Agreement (see attachment) which mandates that demand must be demonstrated to the Village Board before said parking is installed.

RECOMMENDATION:

Village Staff feels that the proposed addition is consistent with earlier master planning and provides a well-designed completion to longstanding redevelopment efforts in the peninsula between Sherman Blvd. and Teutonia Ave. It is suggested that the Plan Commission recommend approval of the Supplemental Dev. Agrmt. to the Village Board. Please feel free to contact Nate Piotrowski at (414) 371-3061, if you have any questions.

**JFS HOUSING BROWN DEER, LLC.
DEERWOOD CROSSING PHASE TWO RESIDENTIAL CARE APARTMENT COMPLEX
SUPPLEMENTAL OPERATIONAL DEVELOPMENT AGREEMENT**

This **SUPPLEMENTAL DEVELOPMENT AGREEMENT** entered into this ____ day of _____, 2012 (hereinafter referred to as the “Supplemental Development Agreement or in the alternative the “Agreement”), by and between **JFS HOUSING BROWN DEER, LLC**, a Wisconsin Limited Liability Company (hereinafter referred to as the “Developer”), and the **VILLAGE OF BROWN DEER**, a municipal corporation, Milwaukee County, Wisconsin (hereinafter referred to as “Brown Deer” or the “Village”).

WITNESSETH:

WHEREAS, the Developer owns Lot 1 of Certified Survey Map ____ (see attached Exhibit 1); and

WHEREAS, the Developer intends to utilize remaining undeveloped lands of Lot 1 on said Certified Survey Map, for the construction of a 30 unit addition (the “Development”) to the existing 66 unit residential care apartment complex; and

WHEREAS, an operational development agreement dated June 10, 2009 and recorded with the Milwaukee County Register of Deeds on July 25, 2009 as Document Number #09757184 shall remain in full force and effect for the existing apartment complex development; and

WHEREAS, an application has been made to the Village by Developer for approval of this Agreement authorizing and governing the operation of the Development; and

WHEREAS, said Development is located in the PD Planned Development District and the covenants contained herein are necessary to provide for the harmonious, orderly and consistent development of the neighborhood in which the Development is located; and

WHEREAS, this Supplemental Development Agreement shall be the Plan of Operations and shall be deemed to be in compliance with Sec.121-246 through 121-253 of the Brown Deer Village Code if favorably recommended by the Plan Commission and approved by the Village Board; and

NOW, THEREFORE, the parties in consideration of the mutual covenants herein contained agree as follows:

1. Except for the construction of the improvements constituting the Development as specifically permitted herein, no other buildings shall be constructed and no additions thereto shall be made on the above-described Development without prior written approval of the Board of the Village.
2. Developer is hereby authorized to construct the Development in strict conformity with plans submitted to and approved by the Village, said plans attached hereto, made a part hereof and marked as follows:

- | | |
|------------|--|
| Exhibit 1, | CSM and legal description |
| Exhibit 2 | Site Plan |
| Exhibit 3, | Landscaping Plan (To be approved by the Brown Deer Beautification Committee) |
| Exhibit 4, | Building Elevations (To be approved by the Brown Deer Building Board) |
| Exhibit 5, | Form of Consent of Owner |
| Exhibit 6, | Cost Estimate |

The Developer agrees that all plans shall require final approval of construction details by Village Staff, Village Board or appropriate Village reviewing authority, before such plans can be implemented. Implicit in this covenant is the right of the Village to require plan revisions, not inconsistent with applicable ordinances, or requests of required boards and committees. Such approval is not to be unreasonably withheld, conditioned, or delayed.

3. The Development shall be utilized as a residential care apartment complex. As a residential care apartment complex catering to senior living, the Development is also permitted to establish ancillary or accessory uses including, but not limited to: beauty salon and barbershop, café or deli, sundries store, fitness center, playground area, professional service and management offices and other ancillary uses consistent with a residential care apartment complex. These and any additional ancillary uses shall be limited to use by residents and their guests and should not be generally offered or promoted for use by the general public. All other uses shall be reviewed and approved by the Village of Brown Deer.

4. The Developer agrees that all plans for public and private improvements to serve the Development shall be approved by the Village and/or Building Inspector as applicable before such plans can be implemented. The Developer shall bear all costs of said improvements.

5. The Developer agrees to pay all reasonable expenses that the Village may incur by virtue of inspections, plan review, legal, surveying, publication and engineering costs and studies pertaining to the Development. Said fees shall not exceed the amount of Ten Thousand Dollars (\$10,000.00).

6. The Certified Survey Map associated with the Development shall be reviewed and approved by the Village prior to the issuance of a final occupancy certificate for the Building.

7. The Developer shall promptly pay the costs of work undertaken by Developer and does hereby indemnify the Village from any loss and hold it harmless from any liability for any debts or claims alleged to be due from the Developer to any person, including any agent, contractor, employee or subcontractor employed by, or under, Developer.

8. The Developer shall provide a private rubbish removal system requiring no service by or cost to the Village. All rubbish, scrap, waste material, storage and collection shall be within interior or screened rodent-proof and covered facilities to be provided and maintained in accordance with the direction of the North Shore Health Department. The screened enclosures shall be constructed of non-combustible materials that are designed to match the elevations of the primary buildings that they serve. The Village reserves the right to reasonably require increased trash removal frequency or enclosure space if there is an insufficient supply of storage space for the rubbish removal system.

9. The Developer shall also establish a recycling program in accordance with Wisconsin State Statute Chapter 287 and the Village's recycling ordinance. A collection system with adequate storage containers for recyclables must be provided for all recyclable material and this material must be collected and transported to a processing facility that separates and recycles appropriate items. All recyclable material, storage and collection shall be within interior or screened rodent-proof and covered facilities to be provided and maintained in accordance with the direction of the North Shore Health Department. The screened enclosures shall be constructed of non-combustible materials that are designed to match the elevations of the primary buildings that they serve. The Village reserves the right to reasonably require increased removal frequency or enclosure space if there is an insufficient supply of storage space for the recycling program.

10. Developer shall abide by applicable provisions of all of the Brown Deer ordinances, including the Building Code, Zoning Code, Fire Prevention Code, construction site erosion control and storm water management ordinances.

11. Building permits for the construction of the proposed new improvements associated with the Development may be issued upon execution of this Agreement and after Developer has provided a completion bond or irrevocable letter of credit to pay for the costs as required by paragraph 30. No building permit shall be issued until the building's construction plans have been approved by the Wisconsin Department of Commerce and the Village Building Board. Furthermore, no building permit shall be issued until a written statement is received from the supervising registered architect or engineer assuring the following statements:

- a) The complete construction of said Building shall be under the immediate supervision and control of a general contractor and shall be observed by the registered architect or engineer in accordance with the terms of the registered architect's or engineer's agreement with the Developer.
- b) The registered architect or engineer shall supply to the Village Building Inspector, upon request, a certified report of any construction inspection deemed necessary by the Building Inspector. Such certified report shall state in detail that all construction work has been executed in accordance with all applicable sections of the Wisconsin Administrative Code, approved plans, specifications and terms of the applicable permit.
- c) No change in plans or specifications, which involve any provisions of the Wisconsin Administrative Code, Chapters COMM 50 through COMM 64, or Chapters COMM 66 & 69, shall be made unless such change is signed, sealed and dated by the architect, engineer, or designer who made the change and approved by the Wisconsin Department of Commerce and /or the Village Building Inspector.
- d) Prior to the issuance of a final occupancy certificate the registered architect or engineer shall submit to the Village Building Inspector a completion statement in the form required by the Wisconsin Department of Commerce.

12. No Building authorized by this Agreement shall be occupied until an occupancy certificate has been issued by the Village Building Inspector. An occupancy certificate will not be issued unless all improvements and construction for said Building is completed as required by this Agreement and also as may be required by State law and Village ordinance. An occupancy certificate may be obtained only if all of the parking and driveway areas of the development necessary to serve the building have, at the minimum, the first binder course of asphalt and curbing in place, and all of the improvements and construction for the building have been completed.

13. All heating, ventilating and air conditioning (HVAC) mechanical equipment, shall be appropriately screened from view of adjacent public rights of way. Plans for addressing the visual impact of the HVAC equipment shall be submitted for approval to the Building Board, and said approval must be obtained prior to the issuance of a building permit.

14. All landscaping on the premises shall be maintained by the Developer in a state of good maintenance and repair as determined by the Village. The Village will provide written notice to Developer of any defect, and if Developer fails to correct the default within no less than thirty (30) days (weather permitting) after such notice is delivered to Developer, the Village may do so and assess the cost against the Developer, to be collected as a special tax. Landscaping for this purpose shall mean bushes, shrubbery, trees, grass and other items or appurtenances necessary to maintain a pleasing and attractive appearance. Dead trees, bushes, vines and shrubbery shall be immediately replaced in accordance with the approved landscape plan on file with the Village.

- a) Vegetation shall be kept trimmed back from around lighting fixtures, fire hydrants and any other utilities that extend from the ground or buildings.

- b) Grass of a variety typical of sod and not to include that of a native prairie style or decorative grasses designed for greater lengths shall be kept cut to a height of not more than four (4) inches.
- c) A professionally prepared Landscaping Plan (Exhibit 3) shall be submitted for review and approval by the Village of Brown Deer Beautification Committee. This document does not grant approval of the landscape plan.
- d) The Development must be kept clear of litter and debris.

15. Signs on the premises shall, at all times, conform to Village sign regulations as found in Section 121 of the Brown Deer Village Code.

- a) Should the Developer request an exception to any sign regulation, as allowed by Sec. 121-251 of the Brown Deer Village Code, this exception shall be approved by the Village Board of Brown Deer and recorded as an amendment to this Development Agreement.
- b) All signs and subsequent changes shall be submitted for review and approval by the Village of Brown Deer Building Board. This document does not grant approval of signage.

16. Storm water management measures shall be in accord with the Village Storm Water Management Ordinance.

- a) A maintenance agreement for the storm water management measures shall be entered into with the Village prior to the issuance of a final occupancy certificate.

17. The Developer shall comply with Village Code performance standards relating to noise, vibration, odor, smoke, dust, etc.

18. The Development shall be appropriately illuminated in order to protect public safety.

- a) An exterior lighting plan shall be reviewed and approved by the Brown Deer Police Department prior to the issuance of an occupancy certificate.
- b) Illumination of off-street parking and loading areas shall be arranged to shield the adjacent properties and streets from direct rays of light and glare. No Development lighting shall trespass more than 0.1 footcandles of horizontal illumination across adjoining or nearby residentially zoned property lines and no more than 0.5 footcandles of horizontal illumination across adjoining or nearby commercially zoned property lines as measured twelve (12) inches above grade.
- c) All lighting fixtures shall be maintained in working order.

19. The Developer shall provide parking spaces to serve the Development in accordance with the requirements of the Village Code.

- a) The size of the parking stalls are 9' x 18'. Based on Village Code Section 121-297 the dimensional requirement for a parking stall is 9.5' x 18.5'. The determination of the Plan Commission and Village Board is to allow for the flexibility of the dimensional standards in conjunction with Village Code Section 121-298 and deem that the provided dimensions are sufficient for the Development.
- b) Exterior parking storage of recreation vehicles, structures, un-mounted campers or un-mounted boats or snowmobiles is prohibited.

- c) The Developer shall prohibit the use of parking on the premises that is not accessory to the existing building uses therein. Junk and/or abandoned vehicles shall be removed by the Developer within five (5) days upon receipt of written notification from the Village.
- d) Snow storage within the parking area shall not interfere with the orderly flow of traffic and shall not obstruct any vision triangles.
- e) The Developer shall provide a facility for the securing and parking of bicycles on the site or within the Building.

20. All applicable permits/licenses/approvals shall be obtained prior to commencing construction and/or operation of the Development.

21. No person, firm or corporation shall engage in delivery, loading or unloading in conjunction with the operation of the Development unless such operations are conducted in accord with the conditions of this Agreement.

- a) Deliveries of products and inventory to the Development may only occur between the hours of 7:00 a.m. to 9:00 p.m. daily.
- b) Delivery trucks shall be turned off/shut down while waiting to or completing a delivery at the Development.
- c) Delivery trucks are not allowed to park on the public right of way to complete deliveries to the Development.

22. If there are any code, law, ordinance or regulation violations, deficiencies, or any hazardous conditions with respect to any use of the Development, or any Building or site improvements on the Development, the Developer shall correct any hazardous conditions immediately and shall correct any other deficiencies or violations within thirty (30) days of written notification. This provision does not limit the Village from taking any other action to enforce any provisions of the Village ordinances or this Agreement.

23. The Developer shall provide and service a trash and recycling container at the new bus stop adjacent to Teutonia Avenue as noted on Exhibit 2. The Village shall provide and maintain a shelter at this location.

24. The Developer agrees to safeguard the building from fire as follows:

- a) Fire lanes shall be maintained, posted and lighted as directed by the North Shore Fire Department and no parking shall be allowed in such fire lanes. Parking areas are not to be posted as fire lanes unless needed for access to Fire Department connections to building sprinkler systems.
- b) Approved automatic sprinkler equipment shall be installed in the building in conformity with NFPA Standard No. 13, and shall be maintained as specified in NFPA Standard No. 25. Plans for this sprinkler system shall be submitted to and approved by the North Shore Fire Department.
- c) The entire fire protection and prevention system shall be connected to a central alert system so as to effectively alert occupants within the Building.
- d) The Developer and all subsequent owners or occupants of the building shall insure that all alarm systems shall be connected to any Underwriters Laboratory approved alarm company that maintains a 24 hour per day supervision of the alarm system. No phase of the building will be allowed to be

occupied until the complete fire prevention and protection system of the building has been installed by the Developer and tested and approved by the North Shore Fire Department.

- e) Service drives and water mains together with fire hydrants at the location of any lot site where construction is proceeding must be installed before any combustible portion of a building at the site is built. All service and access drives to the construction site and accessibility to all fire hydrants at the location must be maintained in a condition suitable for travel of fire apparatus. Sufficient fire hydrants shall be installed in accord with the Village Fire Prevention Code.
- f) The Developer shall maintain a Fire Department Knox Box, to house a Master Key to all doors and sprinkler and alarm systems and shall contact the North Shore Fire Department for application and details in installation.

25. The Developer shall furnish the Police Department with a written list containing names, addresses and telephone numbers of the individuals who can be contacted should an alarm occur at their respective Building. This information shall be submitted to the Police Department five (5) days prior to the installation of any new alarm system. Additionally, notification of any change in the person or persons to be contacted shall be made five (5) days prior to the actual change in the person(s) to be contacted.

26. Prior to the issuance of a final occupancy certificate for the building, a plan of the proposed building shall be provided to the Village Police Department showing the use, type, size and location of security crime prevention equipment. The plan shall detail any of the crime prevention/detection equipment that may be utilized within the project such as: locking devices and related components (mechanical and electrical), doors, door systems (internal and external), vent covering methods (for openings 10 inches by 10 inches or greater), glazing materials, electronic detection devices (power source location and protection), luminaries (internal and external), point protection devices, area protection devices and any other crime prevention/detection equipment.

27. The overflow parking lot shown on Exhibit 2, more specifically described as Lot 3 of CSM 7982, shall not be constructed at this time and shall not be constructed in the future unless demand for said lot is demonstrated to the Brown Deer Village Board.

28. The Developer shall:

- a) Provide the Village with a complete set of utility construction as-built drawings in AutoCAD format (*.DWG) on a CD. Plan and profile sheets shall indicate as-built data without removing original data from the drawings. These as-built drawings shall be labeled as "as-builts" within the title block of each sheet.
- b) Provide the Village with an as-built master grading plan in AutoCAD format (*.DWG) on a CD. The as-built master grading plan shall indicate the elevations of all lot corners, grade breaks, drainage swales and stormwater detention areas without removing original data from the drawings. The finished grade shall be shown for each structure.

29. The Developer shall further grant or dedicate to the Village, without cost to the Village, such right of way or easements as reasonably determined necessary by the Village for any additional future public improvements, provided the same are located in areas which are acceptable to Developer, have not been improved with buildings and have not been reserved as building areas as shown on Exhibit 2 and further provided that said improvements, when installed, shall not unreasonably interfere with the use of the Development depicted in the exhibits attached hereto, or lower the value thereof. Whenever possible, such additional right of way or easements shall be located adjacent to the exterior lines of lots and parcels or adjacent to existing easements or rights of way. Developer shall execute and deliver any deeds or instruments reasonably deemed necessary by the Village to implement this

Fax: 414-390-5808

With a copy to:

Bedrock Development Company, LLC
Attention: Steve Schnoll
6938 North Santa Monica Boulevard
Fox Point, Wisconsin 53217

IN WITNESS WHEREOF, the parties hereunto set their respective hands and seals on the date first written above.

“DEVELOPER”

JFS HOUSING BROWN DEER, LLC

BY JFS MANAGING MEMBER, LLC,
Managing Member

BY JFS HOUSING, INC.,
Sole Member

BY _____
Sylvan Leabman, President

Date: _____

STATE OF WISCONSIN)
) SS
MILWAUKEE COUNTY)

Personally came before me this _____ day of _____, 2012 A.D., the above-named Sylvan Leabman, the President of JFS Housing, Inc., the sole member of JFS Managing Member, LLC, the managing member of JFS Housing Brown Deer, LLC, a Wisconsin Limited Liability Company, to me known to be the person who executed the foregoing instrument and acknowledged the same, as the act and deed of said corporation, by its authority.

* _____,

Notary Public, _____ County, _____ (state)

My commission expires: _____

* Print Name of Notary Public

EXHIBIT 6

ESTIMATED IMPROVEMENT COSTS

All improvement costs, including but not limited to preparation of plans, installation of facilities and inspection shall be borne by the Developer in accordance with this Agreement.

Said costs for the project are estimated to be as follows:

DESCRIPTION	COSTS
Grading (including Erosion Control)	\$40,000.00
Utilities	\$20,000.00
Stormwater Facilities	\$20,000.00
Landscaping	\$15,000.00
SUBTOTAL	\$95,000.00
Engineering/Consulting Services	\$9,500.00
TOTAL:	\$104,500.00

Total: ____\$104,500.00_____/100 Dollars.

APPROVED BY: _____
James Buske, Engineer Services Manager

DATE: _____

1 2 3 4 5 6

KEYNOTES PER SHEET

0420-02A	BRICK VENEER - COLOR 1
0420-02B	BRICK VENEER - COLOR 2
0420-02C	BRICK SOLIDER COURSE ACCENT PER ELEVATIONS - COLOR TO MATCH HAWAIIAN BRICK
0420-03A	CAST STONE SILL - PROFILE 'A' (SEE A301)
0420-03B	CAST STONE SILL - PROFILE 'B' (SEE A301)
0420-03C	CAST STONE LINTELS (SINGLE PIECE) - SEE STRUCTURAL
0520-01	PREFINISHED RAILINGS AND BALLUSTERS
0731-01	30 YR. ARCHITECTURAL ASPHALT SHINGLES
0746-01A	FIBER CEMENT SIDING - 6" EXPOSURE
0746-02	WOOD COMPOSITE FINISHES & TRIM
0746-03A	WOOD COMPOSITE TRIM OVER STRUCTURAL COLUMNS - SEE ARCHITECTURAL DETAILS FOR SIZE AND PROFILE
0746-03B	WOOD COMPOSITE TRIM OVER STRUCTURAL BEAMS - SEE ARCHITECTURAL DETAILS FOR SIZE AND PROFILE
0746-03C	WOOD COMPOSITE TRIM UP FASCIA AND RAKES - SEE ARCHITECTURAL DETAILS FOR PROFILE AND SIZE
0746-03D	WOOD COMPOSITE CORNER BOARDS
0746-03E	8" X 30" PREFINISHED DECORATIVE VENT
0746-03M	WOOD COMPOSITE TRIM - 5/4" X 5 1/2"
0746-03N	WOOD COMPOSITE TRIM - 5/4" X 7 1/4"
0746-03R	WOOD COMPOSITE TRIM - 1 1/4" X 5 1/2"
0746-04A	DECORATIVE BRACKET A - PAINTED
0746-04B	DECORATIVE BRACKET B - PAINTED
0747-01	FIBER CEMENT SHAKES
0762-01	PREFINISHED METAL COPING - MATCH TRIM COLOR
0771-01	CONTINUOUS ROOF DORMER - STOP AT FRAMES AND VALLEYS - PROVIDE MIN. OF 4" OF AIRFLOW. DO NOT VENT LOWER DORMERS. SEE ARCHITECTURAL ROOF PLAN.
0771-02	SEAMLESS ALUMINUM GUTTERS - COLOR TO MATCH TRIM
0853	FIBERGLASS WINDOWS AS SCHEDULED
1120-01	TRIM WALL AC SLEEVE - VERIFY FINAL R.O. DIMENSIONS
2210-01	TRIM WALL AC SLEEVE - VERIFY FINAL R.O. DIMENSIONS
2610-02	EXTERIOR LIGHT FIXTURE - COORDINATE W/ ELECTRICAL CONTRACTOR



eppstein uhen : architects
 MILWAUKEE 333 East Chicago Street
 Milwaukee, Wisconsin 53202
 Tel: 414-271-5300 Fax: 414-271-7194
 MADISON 222 West Washington Ave, Suite 600
 Madison, Wisconsin 53703
 Tel: 608-442-2000 Fax: 608-442-0800



PROJECT INFORMATION
JEWISH FAMILY SERVICES - DEERWOOD CROSSING - PHASE II
 4195 W. Bradley Road
 Brown Deer, WI 53209

ISSUANCE AND REVISIONS
PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION

KEYPLAN

SHEET INFORMATION

PROJECT MANAGER MO
 PROJECT NUMBER 111333-01
 DATE 9/14/12

EXTERIOR ELEVATIONS

A200

© Eppstein Uhen Architects, Inc.

D

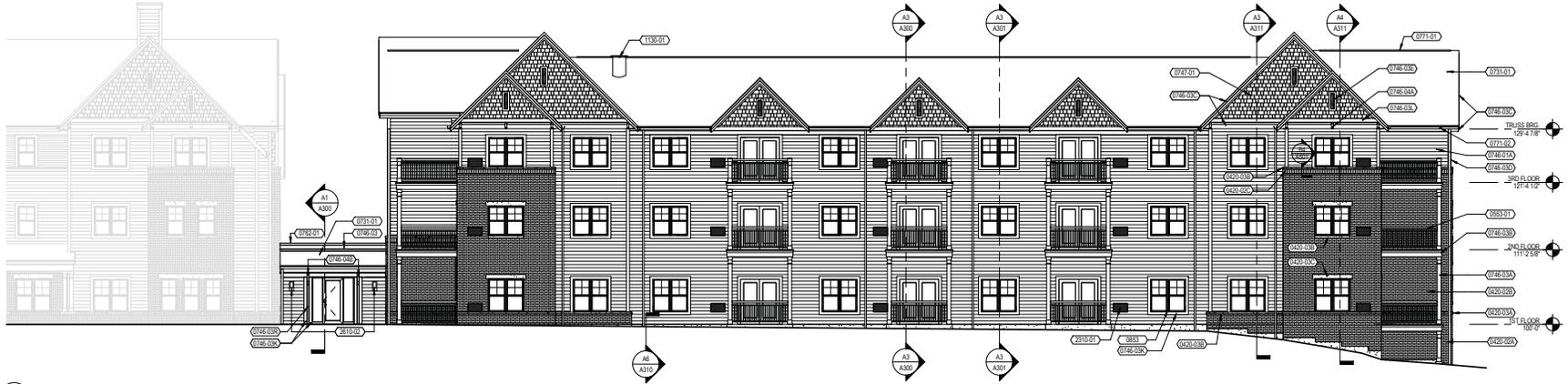
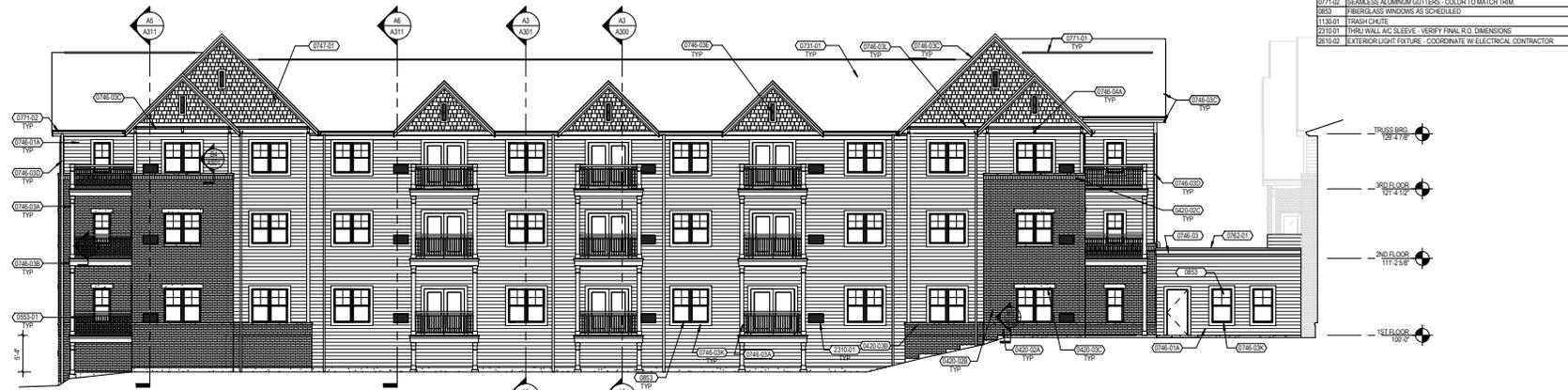
C

B1 NORTH
 1/8" = 1'-0"

B

A

A1 SOUTH
 1/8" = 1'-0"



1

2

3

4

5

6

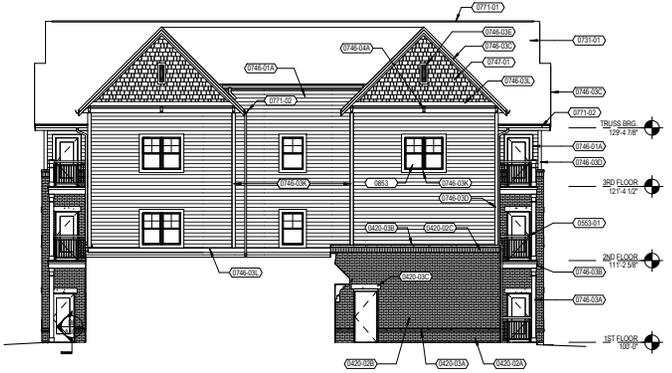
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C

B

A

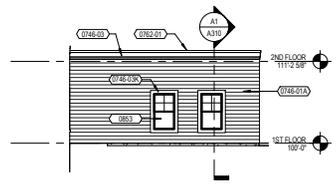
KEYNOTES PER SHEET	
040.02A	BRICK VENEER - COLOR 1
040.02B	BRICK VENEER - COLOR 2
040.02C	BRICK SOLDIER COURSE ACCENT PER ELEVATIONS - COLOR TO MATCH ADJACENT BRICK
040.03A	CAST STONE SILL - PROFILE 'A' (SEE A501)
040.03B	CAST STONE SILL - PROFILE 'B' (SEE A501)
040.03C	CAST STONE LINTELS (SINGLE PIECE) SEE STRUCTURAL
050.01	PREFINISHED RAILINGS AND BALLUSTERS
071.01	30 YR ARCHITECTURAL ASPHALT SHINGLES
0746.01A	FIBER CEMENT SIDING - 8" EXPOSURE
0746.02	WOOD COMPOSITE FINISHES & TRIM
0746.03A	WOOD COMPOSITE TRIM OVER STRUCTURAL COLUMNS. SEE ARCHITECTURAL DETAILS FOR SIZE AND PROFILE
0746.03B	WOOD COMPOSITE TRIM OVER TREATED LUMBER. SEE ARCHITECTURAL DETAILS FOR SIZE AND PROFILE
0746.03C	WOOD COMPOSITE BUILT UP FASGA AND RAKES. SEE ARCHITECTURAL DETAILS FOR PROFILE AND SIZE
0746.03D	WOOD COMPOSITE CORNER BOARDS
0746.03E	8" X 30" PREFINISHED DECORATIVE VENT
0746.03K	WOOD COMPOSITE TRIM - 5/8" X 5 1/2"
0746.03L	WOOD COMPOSITE TRIM - 5/8" X 1 1/4"
0746.04A	DECORATIVE BRACKET A - PAINTED
0747.01	FIBER CEMENT SHIMES
0760.01	PREFINISHED METAL COPING - MATCH TRIM COLOR
0771.01	CONTINUOUS RIDGE VENT - STOP 1" FROM EDGES AND VALLEYS. PROVIDE MIN. OF 4" OF AIRFLOW. DO NOT VENT LOWER CORNERS. SEE ARCHITECTURAL ROOF PLAN.
0771.02	SEAMLESS ALUMINUM GUTTERS; COLOR TO MATCH TRIM.
083	FIBERGLASS WINDOWS AS SCHEDULED



C3 WEST - END
1/8" = 1'-0"



A3 EAST - END
1/8" = 1'-0"



A6 EAST - CONNECTOR
1/8" = 1'-0"



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 MILWAUKEE 333 East Chicago Street
 Milwaukee, Wisconsin 53202
 Tel: 414-271-5300 Fax: 414-271-7194
 MADISON 222 West Washington Ave. Suite 600
 Madison, Wisconsin 53703
 Tel: 608-442-2000 Fax: 608-442-0800



PROJECT INFORMATION

JEWISH FAMILY SERVICES - DEERWOOD CROSSING - PHASE II
 4195 W. Bradley Road
 Brown Deer, WI 53209

ISSUANCE AND REVISIONS

PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION

KEYPLAN

SHEET INFORMATION

PROJECT MANAGER MO
 PROJECT NUMBER 111333-01
 DATE 9/14/12

EXTERIOR ELEVATIONS

A201

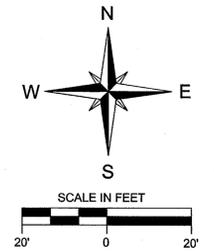
NW CORNER OF NW 1/4 OF SEC. 13-8-21
 CONC. MONUMENT W/ BRASS CAP FOUND
 BENCHMARK ELEV. 110.19 (CITY DATUM)

W. BRADLEY ROAD
 CONCRETE PAVEMENT

REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E WHICH HAS A BEARING OF NORTH 00°41'04" EAST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

BENCHMARK: 110.19 (CITY DATUM) TOP OF CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E.

LEGAL DESCRIPTION:
 LOT 2 OF CERTIFIED SURVEY MAP No. 8149, RECORDED ON MAY 14, 2009, AS DOCUMENT No. 9738440, BEING A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP No. 7982 AND PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 8 NORTH, RANGE 21 EAST, IN THE VILLAGE OF BROWN DEER, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.



eua
 appstein uhen : architects
 milwaukee 333 East Chicago Street Milwaukee, Wisconsin 53202 tel 414 271 5350 fax 414 271 7794
 madison 222 West Washington Ave, Suite 650 Madison, Wisconsin 53703 tel 608 442 5350 fax 608 442 6680

JEWISH FAMILY SERVICES
 ROBERT & MIMI HABUSH FAMILY CENTER
 GENERAL CAPITAL GROUP

PROJECT INFORMATION
Deerwood Crossing - Phase 2
 4195 W. Bradley Road
 Brown Deer, WI 53209

ISSUANCE AND REVISIONS
PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION
1	9/28/12	ADDENDUM #1

KEYPLAN

 SHEET INFORMATION

PROJECT MANAGER MO
 PROJECT NUMBER 111333-01
 DATE 9/14/12

CIVIL EXISTING SITE PLAN
C100
 © Epstein Uhen Architects, Inc.

- NOTES:
- AREA DESCRIBED IN DOCUMENT No. 4263977 IS SUBJECT TO THE FOLLOWING RESTRICTIONS:
 - NO BILLBOARDS OR ADVERTISING SIGNS OTHER THAN THOSE OF A BUSINESS LOCATED ON THE ABOVE DESCRIBED LAND MAY BE ERRECTED OR LOCATED THEREON.
 - VEHICULAR ACCESS TO THE ABOVE DESCRIBED LAND FROM THE ABUTTING HIGHWAY SHALL BE RESTRICTED TO A TOTAL OF TWO DRIVEWAYS EACH WITH A MAXIMUM CURB OPENING OF THIRTY FEET AND A MAXIMUM WIDTH AT THE PROPERTY LINE OF TWENTY-FOUR FEET. THE DRIVEWAY LOCATION IS SUBJECT TO THE APPROVAL OF THE MILWAUKEE COUNTY HIGHWAY COMMISSIONER AND NO CURB OPENINGS MAY BE MADE UNTIL SUCH APPROVAL IS OBTAINED.
 - THE ABOVE DESCRIBED LAND SHALL NOT BE USED FOR THE STORAGE OF MATERIALS OR USED AS A JUNK YARD.
 - THAT ALL PUBLIC AND PRIVATE UTILITIES LOCATED UPON, OVER, OR UNDER THE ABOVE DESCRIBED LANDS SHALL HAVE THE CONTINUED RIGHT OF OCCUPANCY AND THE CONTINUED RIGHT OF INGRESS AND EGRESS FOR PERSONNEL AND EQUIPMENT FOR THE PURPOSE OF MAINTAINING OR IMPROVING THEIR TRANSMISSION AND/OR DISTRIBUTION FACILITIES LOCATED WHOLLY OR PARTIALLY WITHIN THE ABOVE DESCRIBED LANDS AS OF THE DATE OF THIS INSTRUMENT.
 - UTILITIES ARE SHOWN PER VISIBLE INSPECTION AND MARKINGS BY DIGGERS HOTLINE (TICKET NUMBER 20113216068 AND 20113216076).
 - NO PORTION OF THE PROPERTY SHOWN ON THE SURVEY LIES WITHIN A SPECIAL FLOOD HAZARD AREA, AS DESCRIBED ON THE FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS LOCATED. THE PROPERTY LIES IN ZONE X PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 55079C0037E WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.
 - ELEVATIONS AND VISIBLE IMPROVEMENTS SURVEYED BY JAHNKE & JAHNKE ASSOCIATES INC. IN AUGUST 2011.

- LEGEND
- EX. SECTION MONUMENT
 - EX. SANITARY MANHOLE
 - EX. STORM MANHOLE
 - EX. STORM CATCH BASIN ROUND
 - EX. STORM CATCH BASIN SQUARE
 - EX. STORM DRAIN
 - EX. HYDRANT
 - EX. WATER VALVE
 - EX. POWER POLE
 - EX. LIGHT POLE
 - EX. TELEPHONE PEDESTAL
 - EX. SIGN
 - EX. GAS VALVE
 - EX. GAS METER
 - EX. CLEANOUT
 - EX. MILWAUKEE INTERCEPTOR SEWER
 - EX. SANITARY SEWER
 - EX. STORM SEWER
 - EX. WATER MAIN
 - EX. UNDERGROUND TELEPHONE
 - EX. UNDERGROUND GAS MAIN
 - EX. OVERHEAD WIRE
 - EX. FENCE LINE
 - EX. GUARD RAIL
 - EX. 1-FOOT CONTOUR
 - EX. 5-FOOT CONTOUR
 - EX. RIP-RAP

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.

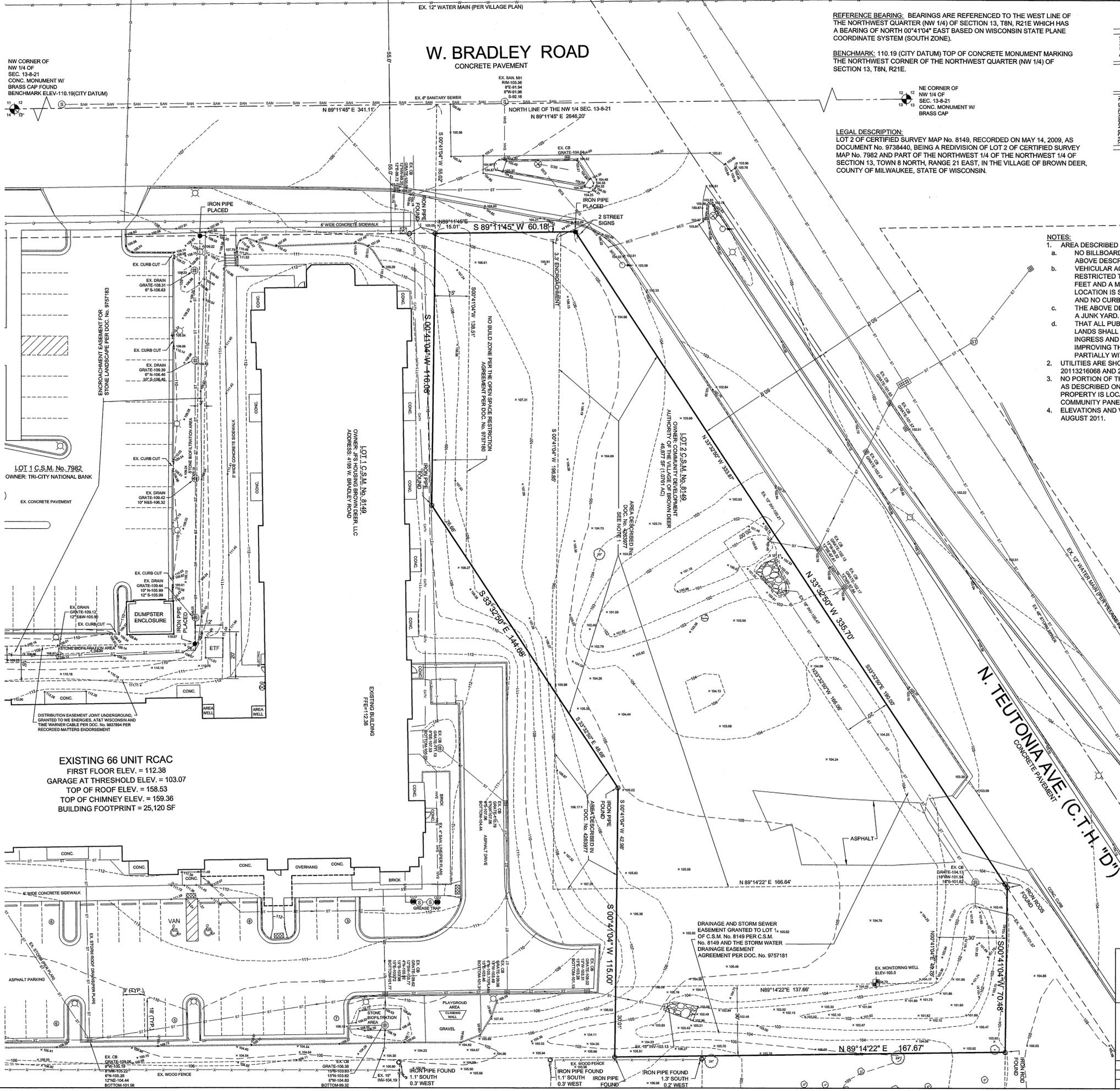


CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WE OFFER REIMBURSEMENT FOR PARTICIPANTS UNDERGROUND FACILITIES BEFORE THE DATE OF THIS INSTRUMENT.

JFS DEERWOOD CROSSING - PHASE II MILW. AREA 259-1181

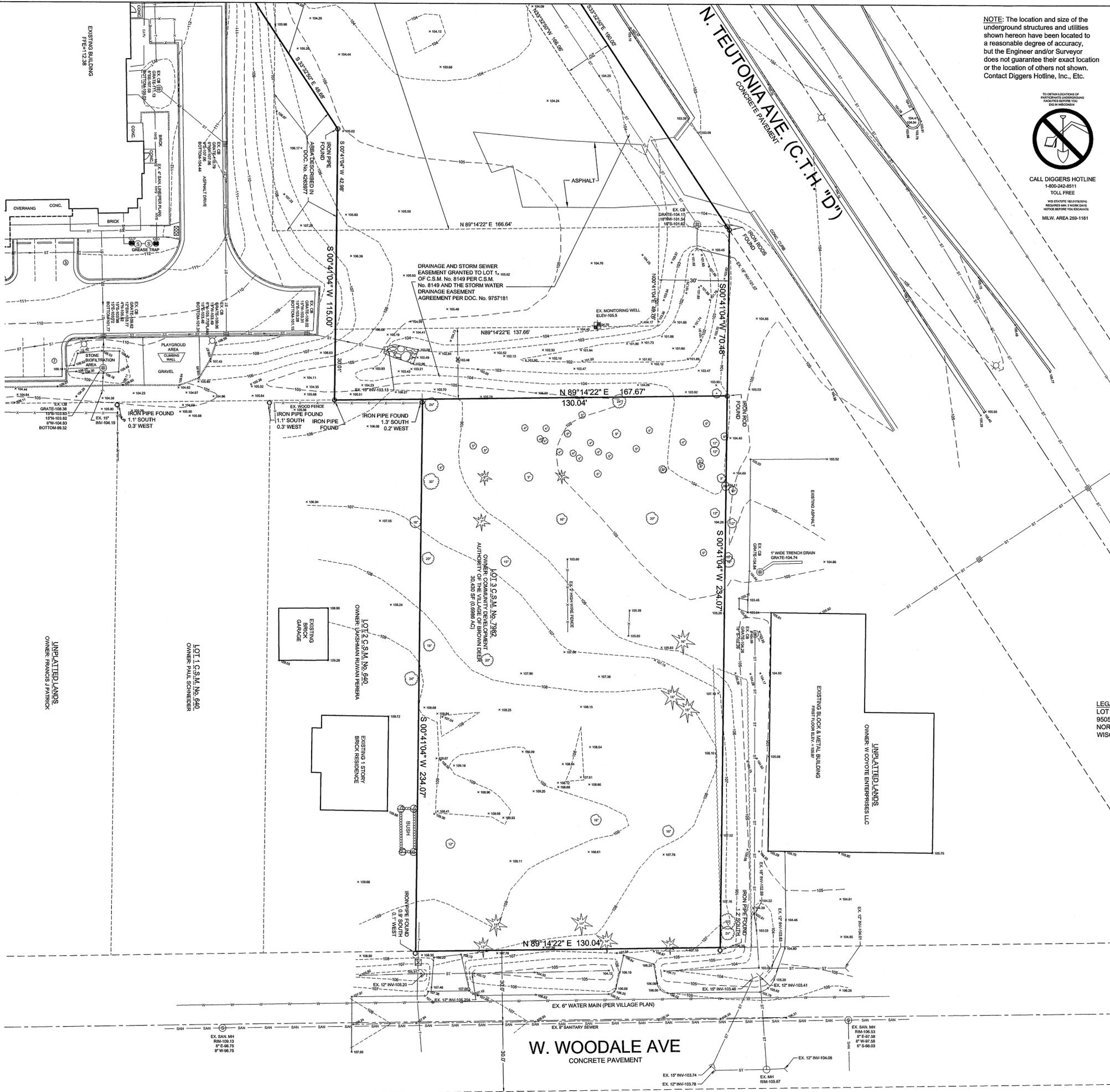
CIVIL EXISTING SITE PLAN
 RE: LOT 2 C.S.M. No. 8149
 PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
 VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN
JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD - WAUKESHA, WI 53188
 TEL. NO. (262) 542-5797 FAX (262) 542-7698
 EMAIL: brohling@jahnkeandjahnke.com
 SCALE: 1" = 20'
 DRAWN BY: B.R. CHECKED BY: A.S.Z. FILE NO.: MILWAUKEE 892
 BOOK NO.: MILWAUKEE 103 JOB: S-7997 SHEET 1 OF 10
 DATE: SEPTEMBER 14, 2012



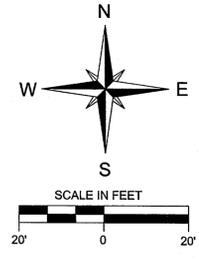
EXISTING 66 UNIT RCAC
 FIRST FLOOR ELEV. = 112.38
 GARAGE AT THRESHOLD ELEV. = 103.07
 TOP OF ROOF ELEV. = 158.53
 TOP OF CHIMNEY ELEV. = 159.36
 BUILDING FOOTPRINT = 25,120 SF

DRAINAGE AND STORM SEWER EASEMENT GRANTED TO LOT 1, 106.62 OF C.S.M. No. 8149 PER C.S.M. No. 8149 AND THE STORM WATER DRAINAGE EASEMENT AGREEMENT PER DOC. No. 9757181

FILE NAME: PROJECTS\897\897\DWG\S7997\TA.dwg



NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.



- LEGEND**
- EX. SECTION MONUMENT
 - EX. SANITARY MANHOLE
 - EX. STORM MANHOLE
 - EX. STORM CATCH BASIN ROUND
 - EX. STORM CATCH BASIN SQUARE
 - EX. STORM DRAIN
 - EX. HYDRANT
 - EX. WATER VALVE
 - EX. POWER POLE
 - EX. LIGHT POLE
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 - EX. GAS METER
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 - EX. MILWAUKEE INTERCEPTOR SEWER
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 - EX. UNDERGROUND TELEPHONE
 - EX. UNDERGROUND GAS MAIN
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 - EX. FENCE LINE
 - EX. GUARD RAIL
 - EX. 1-FOOT CONTOUR
 - EX. 5-FOOT CONTOUR
 - EX. RIP-RAP

REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E WHICH HAS A BEARING OF NORTH 00°41'04" EAST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

BENCHMARK: 110.19 (CITY DATUM) TOP OF CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E.

LEGAL DESCRIPTION: LOT 3 OF CERTIFIED SURVEY MAP No. 7982, RECORDED ON OCTOBER 28, 2007, AS DOCUMENT No. 9505620, BEING A PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWN 8 NORTH, RANGE 21 EAST, IN THE VILLAGE OF BROWN DEER, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

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 madison 222 West Washington Ave, Suite 650 Madison, Wisconsin 53703
 tel 608 442 5350 fax 608 442 6680

JEWISH FAMILY SERVICES
 ROBERT & MIMI HABUSH FAMILY CENTER

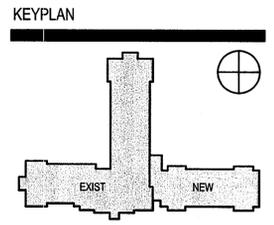
GENERAL CAPITAL GROUP

PROJECT INFORMATION
Deerwood Crossing - Phase 2
 4195 W. Bradley Road
 Brown Deer, WI 53209

ISSUANCE AND REVISIONS
PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION
1	9/28/12	ADDENDUM #1

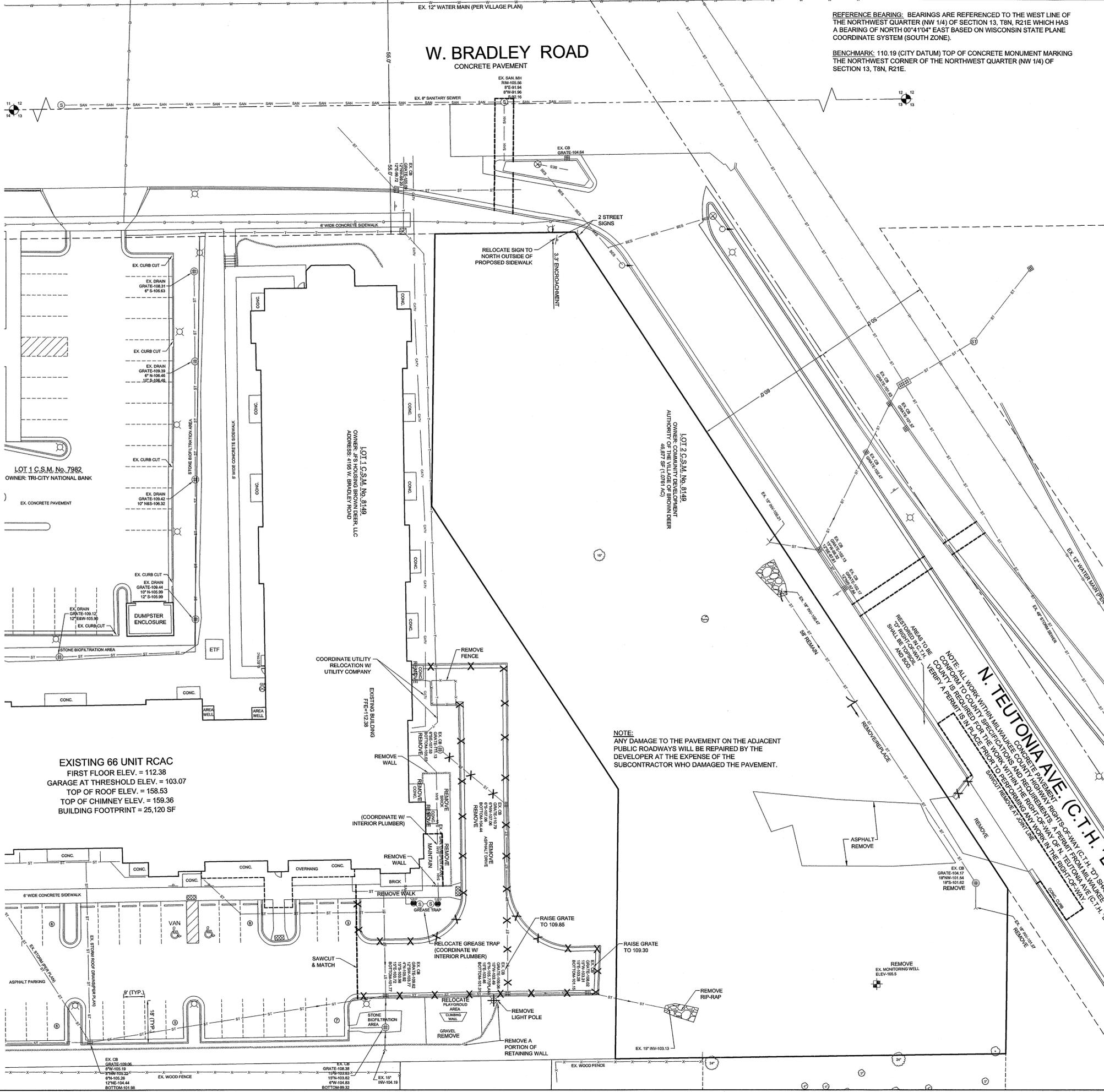


SHEET INFORMATION

PROJECT MANAGER MO
 PROJECT NUMBER 111333-01
 DATE 9/14/12

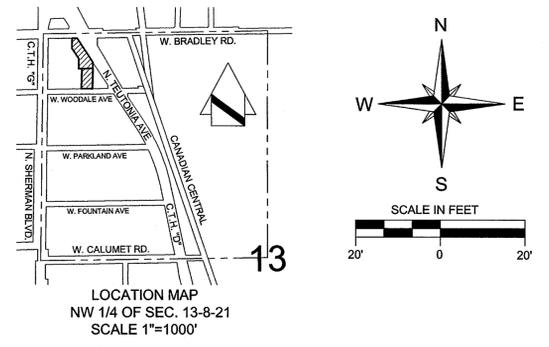
FUTURE PARKING AREA
JFS DEERWOOD CROSSING - PHASE II
 CIVIL EXISTING SITE PLAN - ALT 1
 RE: LOT 2 C.S.M. No. 8149
 PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
 VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN
JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD.-WAUKESHA, WI 53188
 TEL.No.(262) 542-6797 FAX (262) 542-7698
 EMAIL: brohling@jahnkeandjahnke.com
 SCALE: 1" = 20'
 DRAWN BY: B.R. CHECKED BY: A.S.Z. FILE NO.: MILWAUKEE 892
 BOOK NO.: MILWAUKEE 103 JOB: S-7997 SHEET 2 OF 10
 DATE: SEPTEMBER 14, 2012

CIVIL EXISTING SITE PLAN - ALT 1
C101
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REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E WHICH HAS A BEARING OF NORTH 00°41'04" EAST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

BENCHMARK: 110.19 (CITY DATUM) TOP OF CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E.



- LEGEND**
- EX. SECTION MONUMENT
 - EX. SANITARY MANHOLE
 - EX. STORM MANHOLE
 - EX. STORM CATCH BASIN ROUND
 - EX. STORM CATCH BASIN SQUARE
 - EX. STORM DRAIN
 - EX. HYDRANT
 - EX. WATER VALVE
 - EX. POWER POLE
 - EX. LIGHT POLE
 - EX. TELEPHONE PEDESTAL
 - EX. SIGN
 - EX. GAS VALVE
 - EX. GAS METER
 - EX. CLEANOUT
 - EX. MILWAUKEE INTERCEPTOR SEWER
 - EX. SANITARY SEWER
 - EX. STORM SEWER
 - EX. WATER MAIN
 - EX. UNDERGROUND TELEPHONE
 - EX. UNDERGROUND GAS MAIN
 - EX. OVERHEAD WIRE
 - EX. FENCE LINE
 - EX. GUARD RAIL
 - EX. RIP-RAP

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.



WE SEALATE ALL UTILITIES REQUIRES MIN. 3" WORK SPACE AROUND BEFORE PROCEED WITH WORK
MILWAUKEE AREA 259-1161

JFS DEERWOOD CROSSING - PHASE II

CIVIL DEMOLITION PLAN
RE: LOT 2 C.S.M. No. 8149
PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD. - WAUKESHA, WI 53188
TEL. NO. (262) 542-5797 FAX (262) 542-7698
EMAIL: brohling@jahnkeandjahnke.com

SCALE: 1" = 20'
DRAWN BY: B.R. CHECKED BY: A.S.Z. FILE NO.: MILWAUKEE 892
BOOK NO.: MILWAUKEE 103 JOB: S-7997 SHEET 3 OF 10

DATE: SEPTEMBER 14, 2012

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madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680

JEWISH FAMILY SERVICES
ROBERT & MIMI HABUSH FAMILY CENTER

GENERAL CAPITAL GROUP

PROJECT INFORMATION

Deerwood Crossing - Phase 2

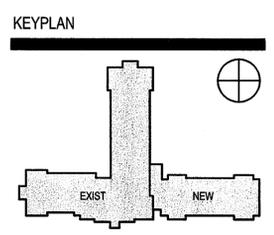
4195 W. Bradley Road
Brown Deer, WI 53209

ISSUANCE AND REVISIONS

PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION
1	9/28/12	ADDENDUM #1



SHEET INFORMATION

PROJECT MANAGER	MO
PROJECT NUMBER	111333-01
DATE	9/14/12

CIVIL DEMOLITION PLAN

C200

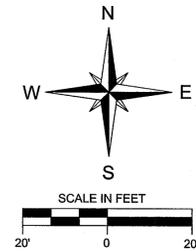
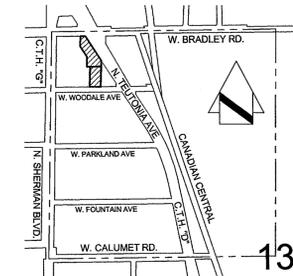
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NW CORNER OF NW 1/4 OF SEC. 13-8-21 CONIC. MONUMENT W/ BRASS CAP FOUND BENCHMARK ELEV. 110.18 (CITY DATUM)

W. BRADLEY ROAD
CONCRETE PAVEMENT

REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E WHICH HAS A BEARING OF NORTH 00°41'04" EAST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

BENCHMARK: 110.19 (CITY DATUM) TOP OF CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E.



LOCATION MAP
NW 1/4 OF SEC. 13-8-21
SCALE 1"=1000'

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madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6880

JEWISH FAMILY SERVICES
ROBERT & MIMI HABUSH FAMILY CENTER

GENERAL CAPITAL GROUP

PROJECT INFORMATION

Deerwood Crossing - Phase 2

4195 W. Bradley Road
Brown Deer, WI 53209

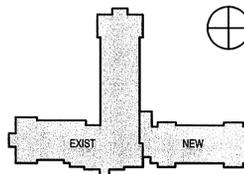
ISSUANCE AND REVISIONS

PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION
1	9/28/12	ADDENDUM #1

KEYPLAN



SHEET INFORMATION

PROJECT MANAGER MO

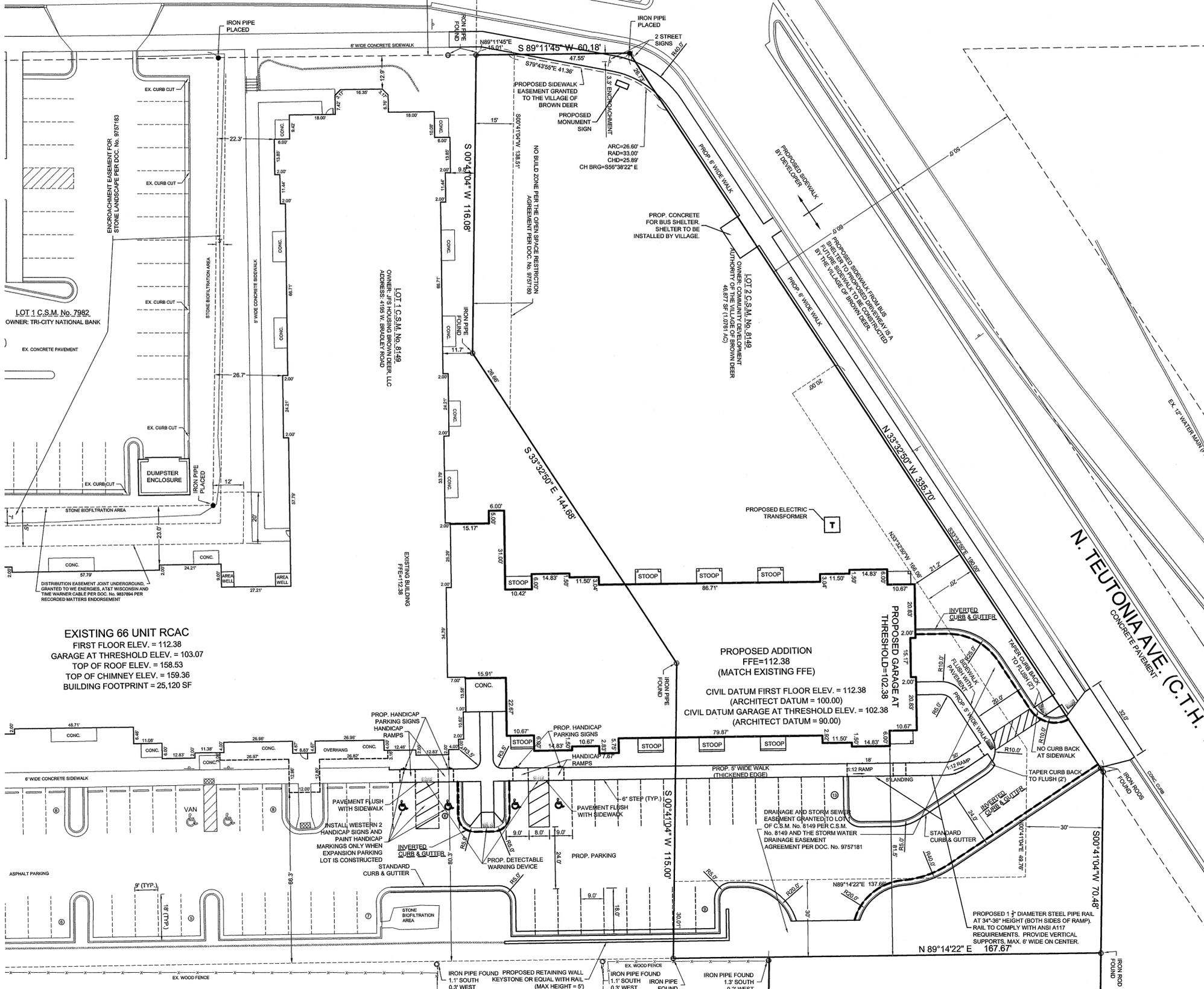
PROJECT NUMBER 111333-01

DATE 9/14/12

CIVIL PROPOSED SITE PLAN

C300

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NOTE:
A CERTIFIED SURVEY MAP (C.S.M.) HAS BEEN PREPARED TO COMBINE LOTS 1 AND 2 OF C.S.M. No. 8149.

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.



CALL DIGGERS HOTLINE

1-800-242-8511

TOLL FREE

WE SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES SHOWN ON THIS PLAN.

WE SHALL BE RESPONSIBLE FOR THE LOCATION OF UTILITIES SHOWN ON THIS PLAN.

MILWAUKEE AREA 250-1181

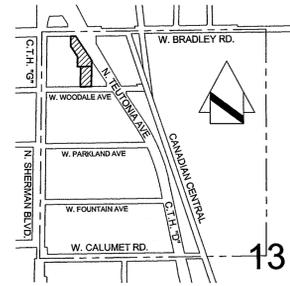
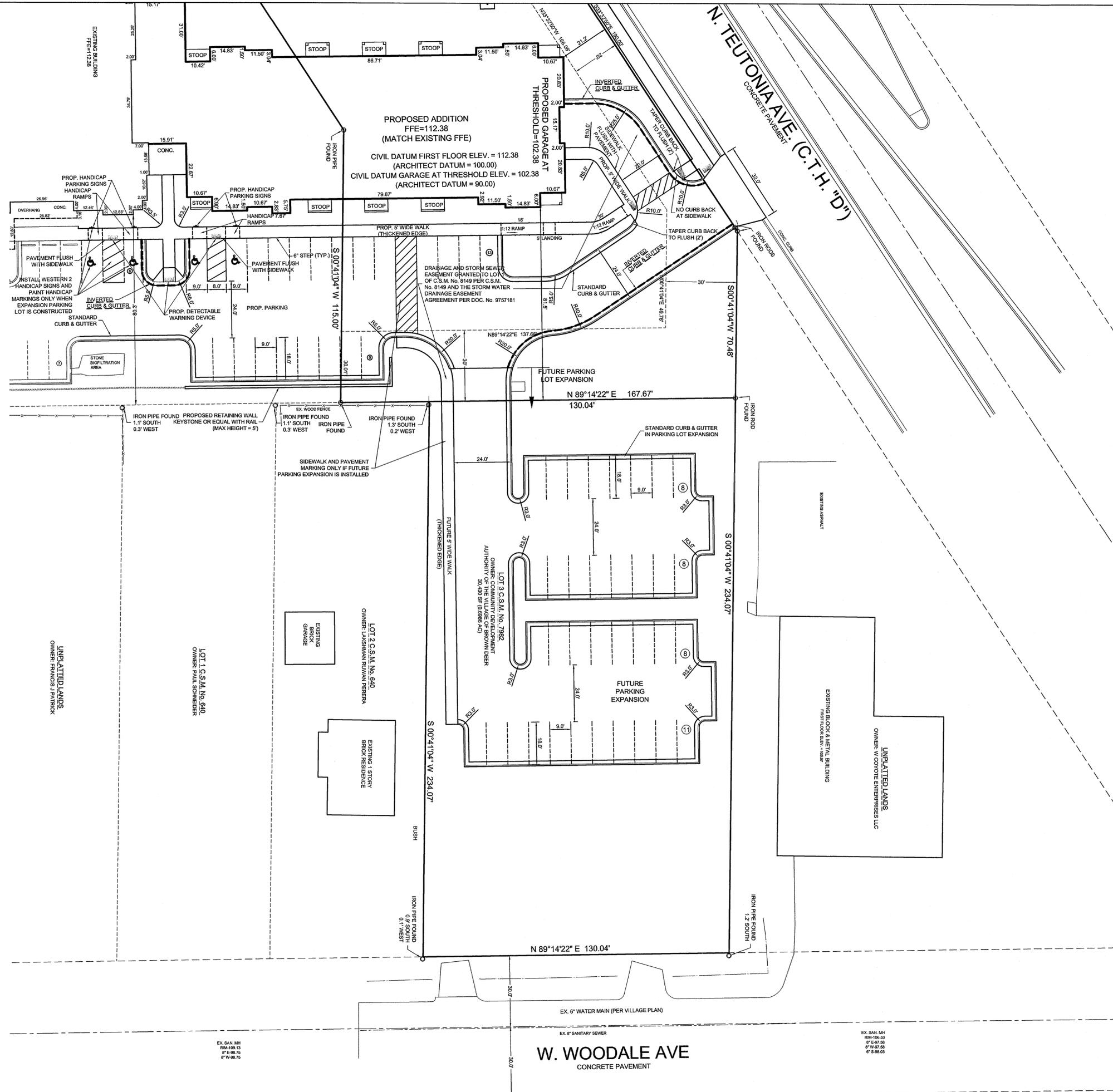
JFS DEERWOOD CROSSING - PHASE II

CIVIL PROPOSED SITE PLAN
RE: LOT 2 C.S.M. No. 8149
PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD. - WAUKESHA, WI 53188
TEL. NO. (262) 542-6797 FAX (262) 542-7698
EMAIL: brohling@jahnkeandjahnke.com

SCALE: 1" = 20'
DRAWN BY: B.R. CHECKED BY: A.S.Z. FILE NO.: MILWAUKEE 892
BOOK NO.: MILWAUKEE 103 JOB: S-7997 SHEET 4 OF 10

FILE NAME: PROJECTS\111333\DWG\111333-01-C300.dwg



LOCATION MAP
NW 1/4 OF SEC. 13-8-21
SCALE 1"=1000'

REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E WHICH HAS A BEARING OF NORTH 00°41'04" EAST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

BENCHMARK: 110.19 (CITY DATUM) TOP OF CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E.

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TOLL FREE
SEE DIGGER'S HOTLINE FOR MORE INFORMATION
MILWAUKEE AREA: 259-1181



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milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794
madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6880



PROJECT INFORMATION

Deerwood Crossing - Phase 2

4195 W. Bradley Road
Brown Deer, WI 53209

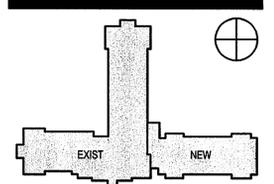
ISSUANCE AND REVISIONS

PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION
1	9/28/12	ADDENDUM #1

KEYPLAN



SHEET INFORMATION

PROJECT MANAGER	MO
PROJECT NUMBER	111333-01
DATE	9/14/12

CIVIL PROPOSED SITE PLAN - ALT1

C301

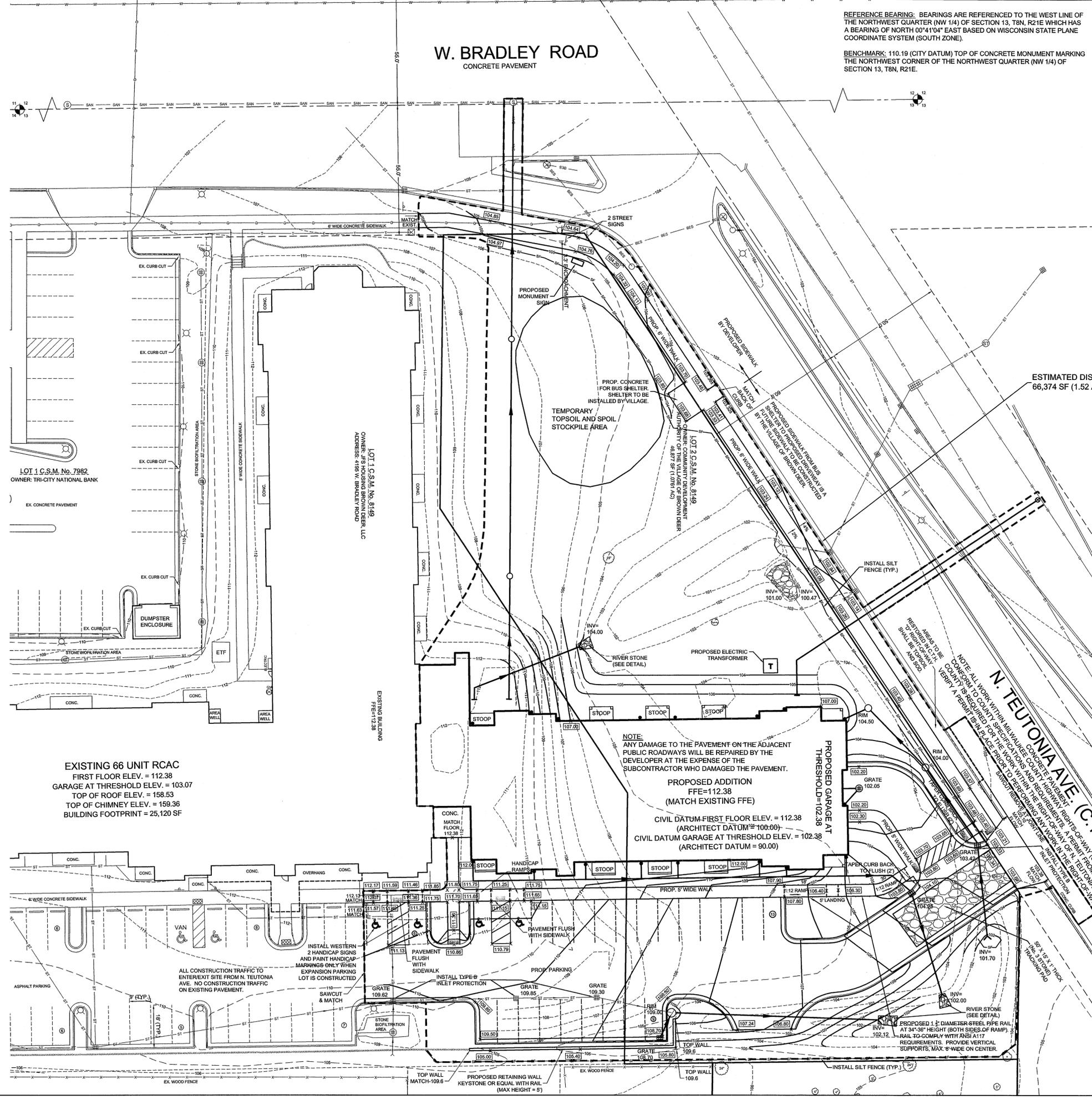
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CIVIL PROPOSED SITE PLAN - ALT 1
RE: LOT 2 C.S.M. No. 8149
PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD.-WALKESHA, WI 53188
TEL.No.(262) 542-6797 FAX (262) 542-7698
EMAIL: brohling@jahnkeandjahnke.com

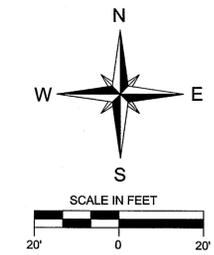
SCALE: 1" = 20'
DRAWN BY: B.R. CHECKED BY: A.S.Z. FILE NO.: MILWAUKEE 892
BOOK NO.: MILWAUKEE 103 JOB: S-7997 DATE: SEPTEMBER 14, 2012 SHEET 5 OF 10

FILE NAME: PROJECTS\S7997\DWGS\7997\ALT1.dwg



REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E WHICH HAS A BEARING OF NORTH 00°41'04" EAST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

BENCHMARK: 110.19 (CITY DATUM) TOP OF CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E.



eua

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madison 222 West Washington Ave, Suite 650
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JEWISH FAMILY SERVICES
ROBERT & MIMI HABUSH FAMILY CENTER

GENERAL CAPITAL GROUP

PROJECT INFORMATION

Deerwood Crossing - Phase 2

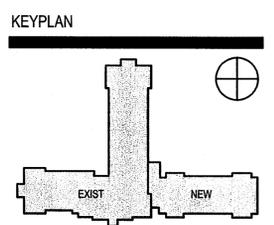
4195 W. Bradley Road
Brown Deer, WI 53209

ISSUANCE AND REVISIONS

PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION
1	9/28/12	ADDENDUM #1



SHEET INFORMATION

PROJECT MANAGER MO

PROJECT NUMBER 111333-01

DATE 9/14/12

- LEGEND
- EX. SECTION MONUMENT
 - EX. SANITARY MANHOLE
 - EX. STORM MANHOLE
 - EX. STORM CATCH BASIN ROUND
 - EX. STORM CATCH BASIN SQUARE
 - EX. STORM DRAIN
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 - EX. WATER VALVE
 - EX. POWER POLE
 - EX. LIGHT POLE
 - EX. TELEPHONE PEDESTAL
 - EX. SIGN
 - EX. GAS VALVE
 - EX. GAS METER
 - EX. MILWAUKEE INTERCEPTOR SEWER
 - EX. SANITARY SEWER
 - EX. STORM SEWER
 - EX. WATER MAIN
 - EX. UNDERGROUND TELEPHONE
 - EX. UNDERGROUND GAS MAIN
 - EX. OVERHEAD WIRE
 - EX. FENCE LINE
 - EX. GUARD RAIL
 - EX. 1-FOOT CONTOUR
 - EX. 5-FOOT CONTOUR
 - EX. RIP-RAP

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.



JFS DEERWOOD CROSSING - PHASE II

GRADING & EROSION CONTROL PLAN

RE: LOT 2 C.S.M. No. 8149

PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
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SCALE: 1" = 20'

DRAWN BY: B.R. CHECKED BY: A.S.Z. FILE NO.: MILWAUKEE 892

BOOK NO.: MILWAUKEE 103 JOB: S-7997 SHEET 6 OF 10

DATE: SEPTEMBER 14, 2012

EXISTING 66 UNIT RCAC
FIRST FLOOR ELEV. = 112.38
GARAGE AT THRESHOLD ELEV. = 103.07
TOP OF ROOF ELEV. = 158.53
TOP OF CHIMNEY ELEV. = 159.36
BUILDING FOOTPRINT = 25,120 SF

NOTE: ANY DAMAGE TO THE PAVEMENT ON THE ADJACENT PUBLIC ROADWAYS WILL BE REPAIRED BY THE DEVELOPER AT THE EXPENSE OF THE SUBCONTRACTOR WHO DAMAGED THE PAVEMENT.

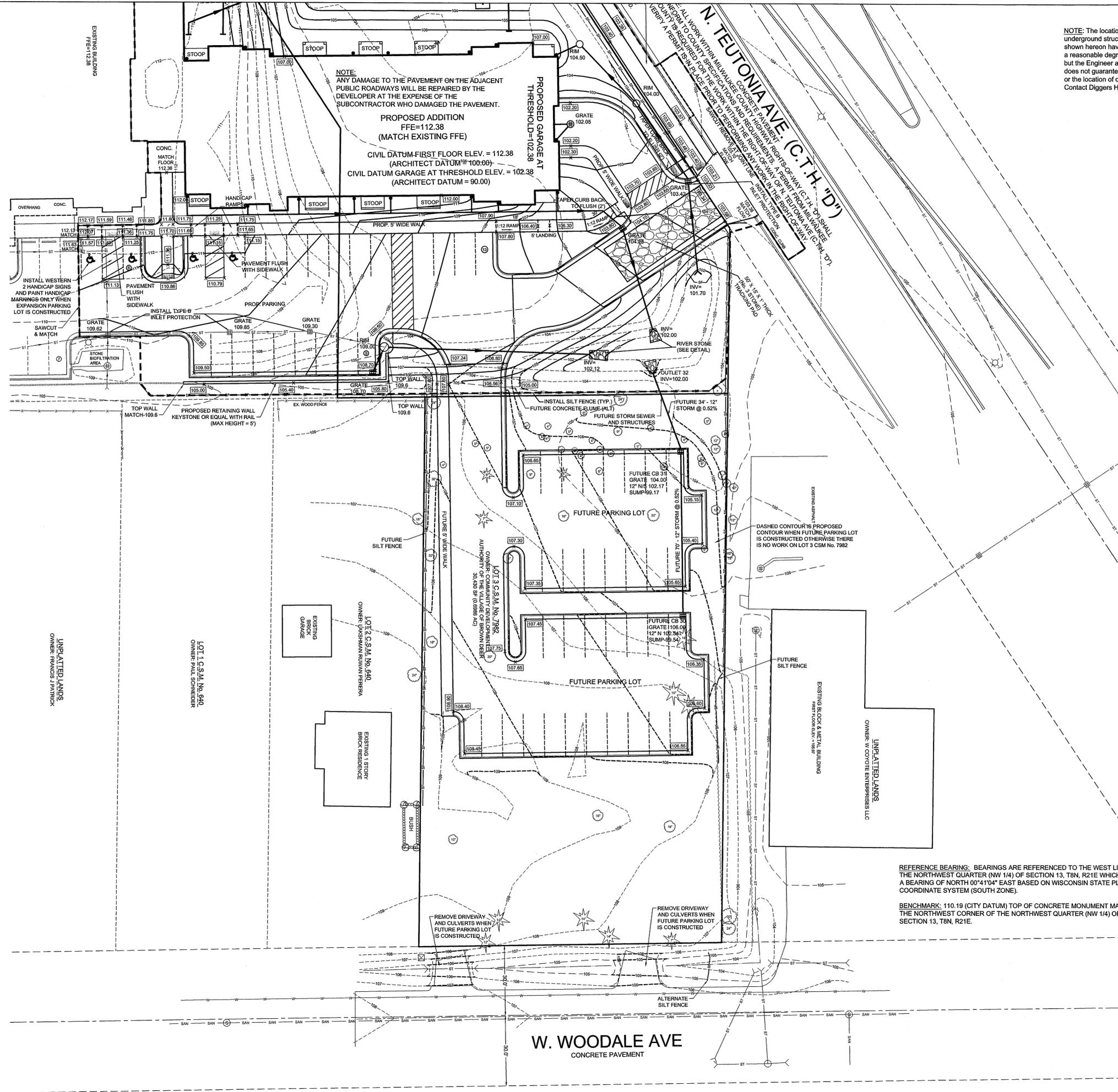
PROPOSED ADDITION
FFE=112.38
(MATCH EXISTING FFE)

CIVIL DATUM FIRST FLOOR ELEV. = 112.38
(ARCHITECT DATUM = 100.00)

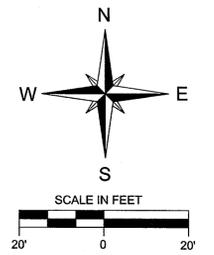
CIVIL DATUM GARAGE AT THRESHOLD ELEV. = 102.38
(ARCHITECT DATUM = 90.00)

NOTE: ALL WORK WITHIN MILWAUKEE COUNTY IS SUBJECT TO COUNTY SPECIFIC ORDINANCES AND REGULATIONS. A PERMIT FROM MILWAUKEE COUNTY IS REQUIRED FOR THE WORK TO BE PERFORMED WITHIN THE RIGHT-OF-WAY OF N. TEUTONIA AVE (C.T.H. 'D'). VERIFY A PERMIT IS IN PLACE PRIOR TO PERFORMING ANY WORK IN THE RIGHT-OF-WAY.

FILE NAME: P:\PROJECTS\7997\DWG\S7997A1A.dwg



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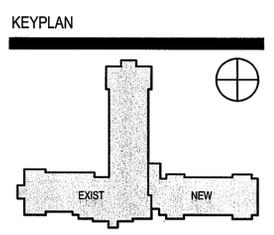
PROJECT INFORMATION
 Deerwood Crossing - Phase 2
 4195 W. Bradley Road
 Brown Deer, WI 53209

ISSUANCE AND REVISIONS

PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION
1	9/28/12	ADDENDUM #1



SHEET INFORMATION

PROJECT MANAGER	MO
PROJECT NUMBER	111333-01
DATE	9/14/12

REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E WHICH HAS A BEARING OF NORTH 00°41'04" EAST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

BENCHMARK: 110.19 (CITY DATUM) TOP OF CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E.

FUTURE PARKING AREA
 JFS DEERWOOD CROSSING - PHASE II

GRADING & EROSION CONTROL PLAN - ALT 1
 RE: LOT 2 C.S.M. No. 8149
 PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
 VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
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 EMAIL: brohling@jahnkeandjahnke.com

SCALE: 1" = 20'	DATE: SEPTEMBER 14, 2012
DRAWN BY: B.R.	CHECKED BY: A.S.Z.
BOOK NO.: MILWAUKEE 103	FILE NO.: MILWAUKEE 892
JOB: S-7997	SHEET 7 OF 10

GRADING & EROSION CONTROL PLAN - ALT 1

C401

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eppstein uhen : architects

milwaukee 333 East Chicago Street Milwaukee, Wisconsin 53202 tel 414 271 5350 fax 414 271 7794
madison 222 West Washington Ave, Suite 650 Madison, Wisconsin 53703 tel 608 442 5350 fax 608 442 6880



PROJECT INFORMATION

Deerwood Crossing - Phase 2

4195 W. Bradley Road Brown Deer, WI 53209

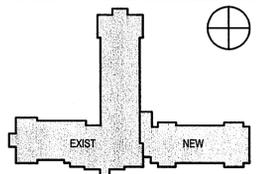
ISSUANCE AND REVISIONS

PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION
1	9/28/12	ADDENDUM #1

KEYPLAN



SHEET INFORMATION

PROJECT MANAGER MO

PROJECT NUMBER 111333-01

DATE 9/14/12

TEMPORARY TRAFFIC CONTROL PLAN

C500

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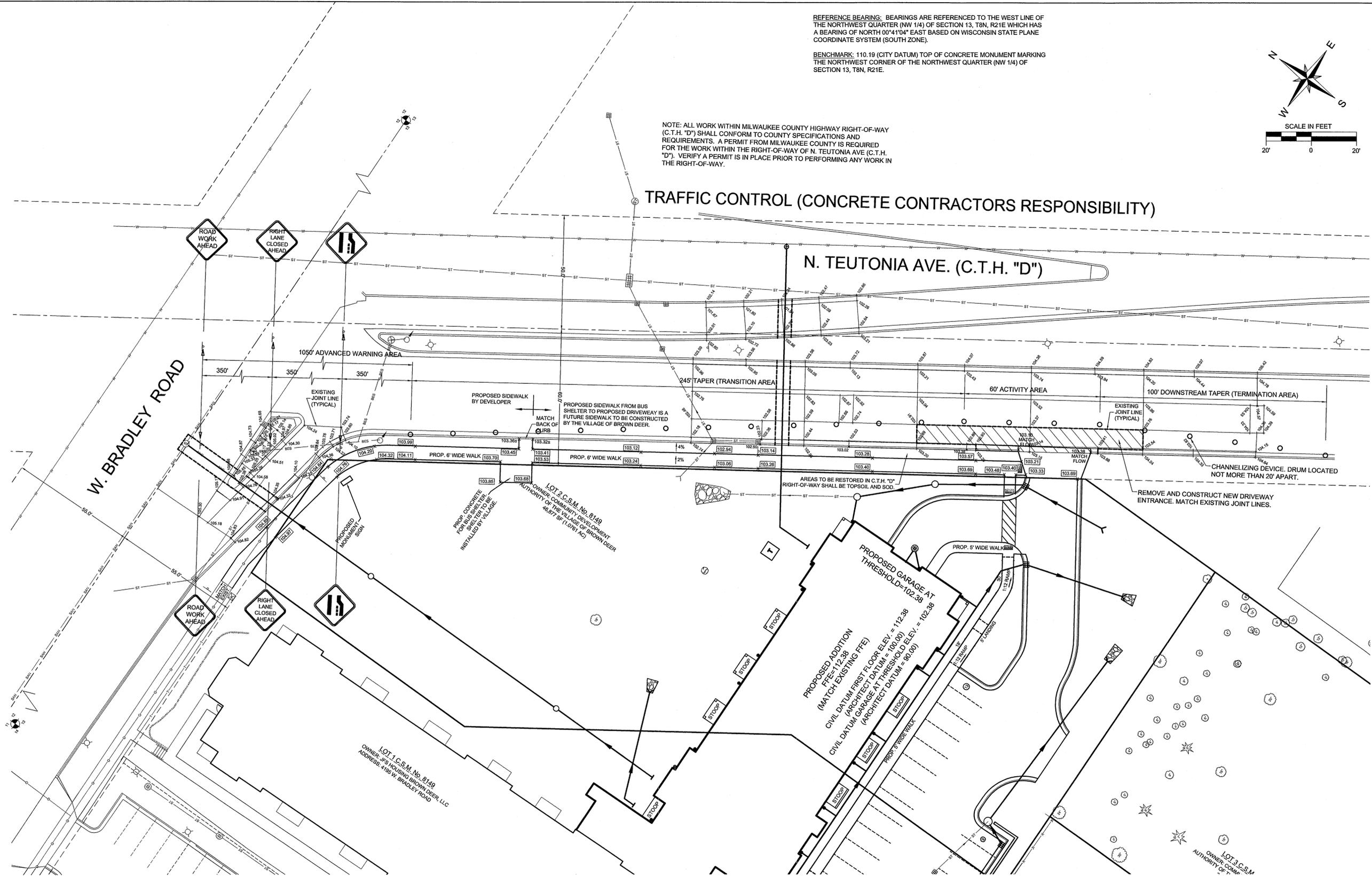
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NOTE: ALL WORK WITHIN MILWAUKEE COUNTY HIGHWAY RIGHT-OF-WAY (C.T.H. "D") SHALL CONFORM TO COUNTY SPECIFICATIONS AND REQUIREMENTS. A PERMIT FROM MILWAUKEE COUNTY IS REQUIRED FOR THE WORK WITHIN THE RIGHT-OF-WAY OF N. TEUTONIA AVE (C.T.H. "D"). VERIFY A PERMIT IS IN PLACE PRIOR TO PERFORMING ANY WORK IN THE RIGHT-OF-WAY.

TRAFFIC CONTROL (CONCRETE CONTRACTORS RESPONSIBILITY)



- NOTES:
- ALL TEMPORARY TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON TRAFFIC CONTROL DEVICES (MUTCD) AND MILWAUKEE COUNTY REQUIREMENTS AND SPECIFICATIONS.
 - THE TRAFFIC CONTROL DEVICES SHOWN ON THE PLAN ARE MINIMUM REQUIREMENTS. AS THE WORK IS BEING COMPLETED, IT IS THE CONTRACTORS RESPONSIBILITY TO ADD ADDITIONAL TRAFFIC CONTROL DEVICES, SIGNAGE OR FLAGMAN AS NECESSARY BASED ON THE WORK THAT IS BEING COMPLETED.
 - C.T.H. "D" SHALL BE OPEN TO TRAFFIC IN BOTH DIRECTIONS AT ALL TIMES.
 - PAVEMENT RESTORATION SHALL BE PERFORMED ACCORDING TO THE FOLLOWING:
 - WHEN IT IS REQUIRED TO REMOVE CONCRETE PAVEMENT AND/OR CONCRETE CURB AND GUTTER, THE CONCRETE SHALL BE SAW-CUT FULL DEPTH. THE REMOVAL SHALL BE FROM JOINT TO JOINT LONGITUDINALLY AS WELL AS TRANSVERSELY (THE ENTIRE SLAB).
 - THE CONCRETE CURB AND GUTTER REPLACEMENT SHALL BE DOWELED TO THE EXISTING PAVEMENT WITH DRILLED AND DRIVEN NO. 4 EPOXY-COATED, 24-INCH DEFORMED BARS PLACED 38 INCHES C-C.
 - THE CONCRETE PAVEMENT REPLACEMENT SHALL BE DOWELED TO THE EXISTING PAVEMENT WITH DRILLED AND DRIVEN NO. 6 EPOXY-COATED, 24-INCH DEFORMED BARS PLACED 38 INCHES C-C, EXCEPT IN WHEEL PATHS, WHERE FOUR 1 1/4" DOWELS, 15 INCHES C-C, SHALL BE PLACED. SEE DETAIL ON SHEET 7.
 - ALL REPLACEMENT PAVEMENT JOINTS SHALL BE PARALLEL WITH EXISTING JOINTS. DIAGONAL, ANGLED OR ARCED JOINTS ARE NOT ALLOWED.
 - THE REPLACEMENT PAVEMENT SHALL BE THE SAME THICKNESS AS THE ADJACENT PAVEMENT AND THE PAVEMENT REPLACEMENT MIX SHALL BE HIGH EARLY, (7 BAG MIX) PORTLAND CEMENT CONCRETE.
 - ALL EXCAVATED AREAS UNDER PAVEMENT SHALL BE BACKFILLED WITH SLURRY (GAS COMPANY SLURRY AGGREGATE MIX NO. 2). THE CONTRACTOR SHALL MAINTAIN THE PAVEMENT TRENCH SURFACE WITH A TEMPORARY ASPHALT SURFACE UNTIL SUCH TIME AS THE CONTRACTOR PLACES THE PERMANENT PORTLAND CEMENT CONCRETE PAVEMENT.

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- EX. MILWAUKEE INTERCEPTOR SEWER
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JFS DEERWOOD CROSSING - PHASE II

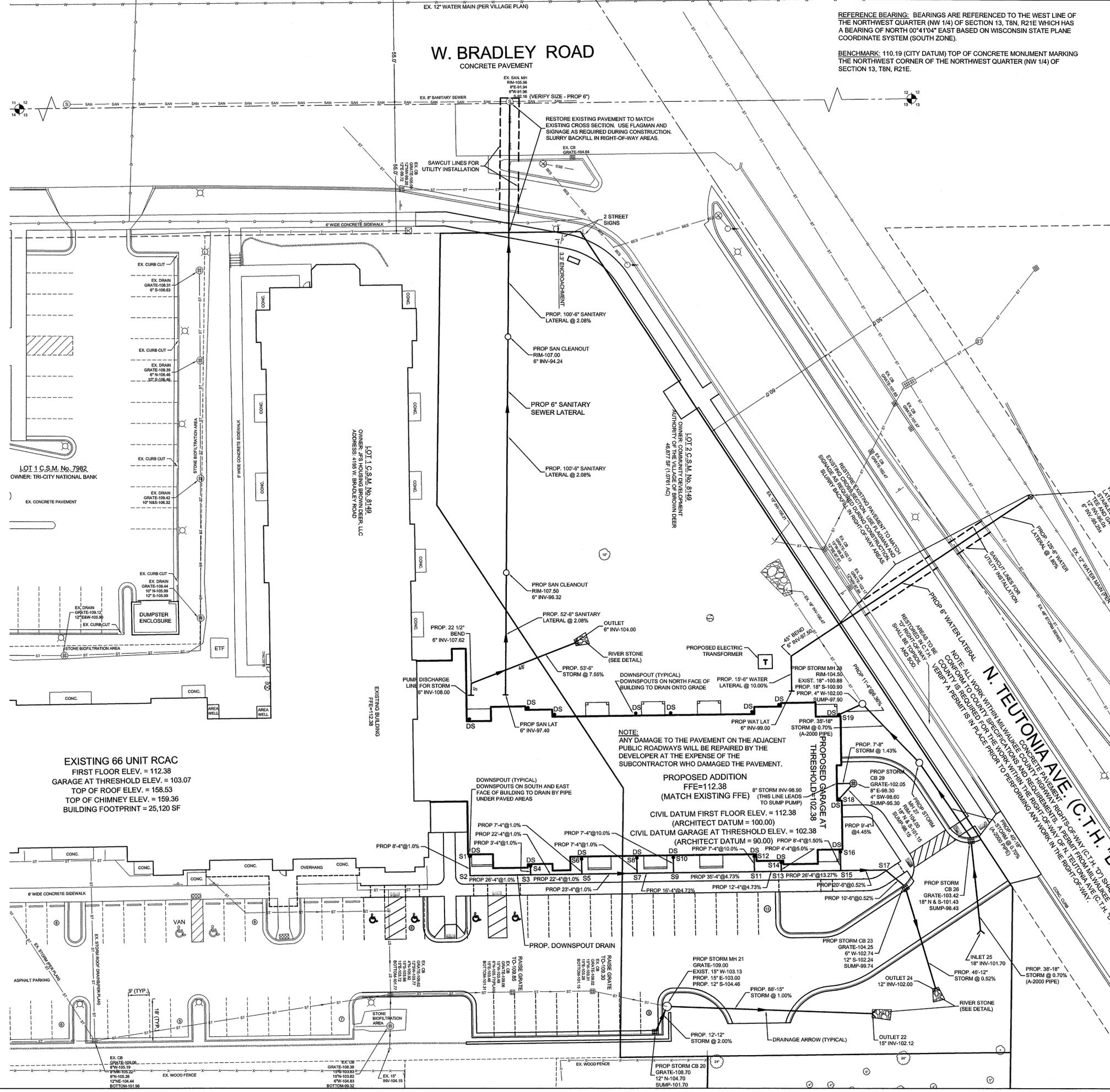
TEMPORARY TRAFFIC CONTROL PLAN
RE: LOT 2 C.S.M. No. 8149
PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
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SCALE: 1" = 20'
DRAWN BY: B.R. CHECKED BY: A.S.Z. FILE NO.: MILWAUKEE 892
BOOK NO.: MILWAUKEE 103 JOB: S-7997 SHEET 8 OF 10

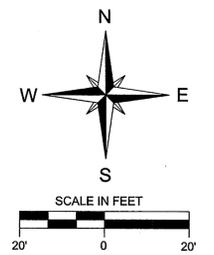
DATE: SEPTEMBER 14, 2012

FILE NAME: PROJECTS\8149\DWG\892\T&C.dwg



REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, T8N, R21E WHICH HAS A BEARING OF NORTH 00°41'04" EAST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

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DOWNSPOUT CHART

S1	90° VERT BEND & CLEANOUT 4" INV-110.20	S11	4" x 4" TEE 4" INV-107.00
S2	90° BEND 4" INV-110.12	S12	90° VERT BEND & CLEANOUT 4" INV-107.70
S3	4" x 4" TEE 4" INV-109.86	S13	4" x 4" TEE 4" INV-106.43
S4	90° VERT BEND & CLEANOUT 4" INV-109.89	S14	90° VERT BEND & CLEANOUT 4" INV-106.63
S5	4" x 4" TEE 4" INV-109.64	S15	4" x 6" TEE 4" REDUCER TO WEST 4" INV-102.98 6" INV-102.90
S6	90° VERT BEND & CLEANOUT 4" INV-109.71	S16	90° VERT BEND & CLEANOUT 4" INV-103.10 45" BEND 6" INV-102.79
S7	4" x 4" TEE 4" INV-109.41	S18	90° VERT BEND & CLEANOUT 4" INV-108.65
S8	90° VERT BEND & CLEANOUT 4" INV-109.48	S19	90° VERT BEND & CLEANOUT 4" INV-102.70
S9	4" x 4" TEE 4" INV-109.35		
S10	90° VERT BEND & CLEANOUT 4" INV-109.35		

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CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WE STRONGLY RECOMMEND INDICATED WORK BE DONE BY A LICENSED CONTRACTOR.

JFS DEERWOOD CROSSING - PHASE II
MILWAUKEE AREA 259-1181

UTILITY PLAN
RE: LOT 2 C.S.M. No. 8149
PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

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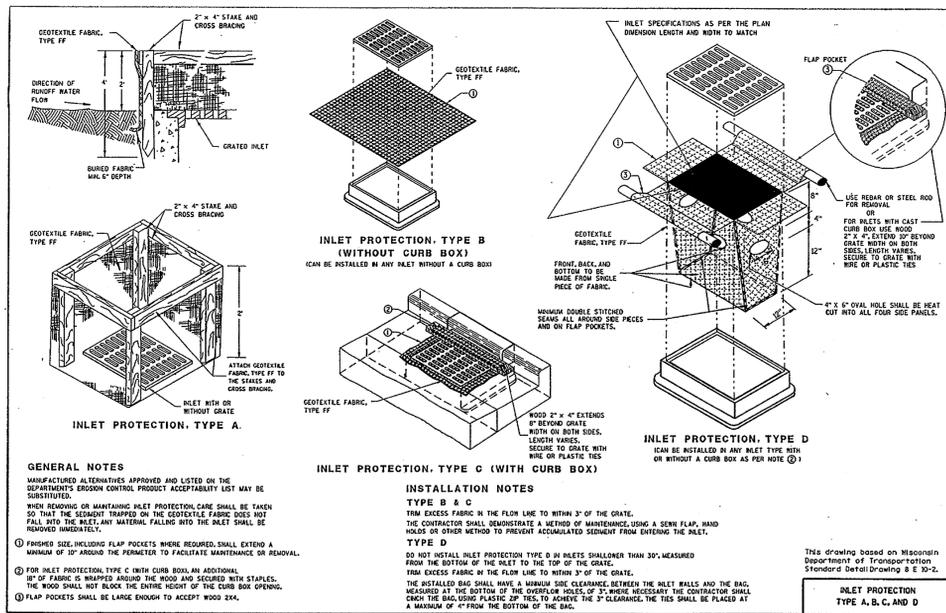
REVISIONS

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KEYPLAN
SHEET INFORMATION

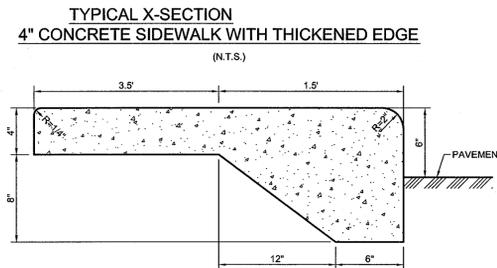
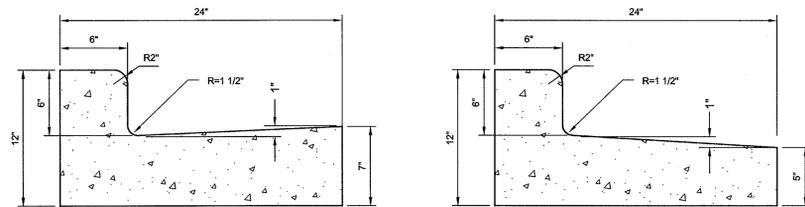
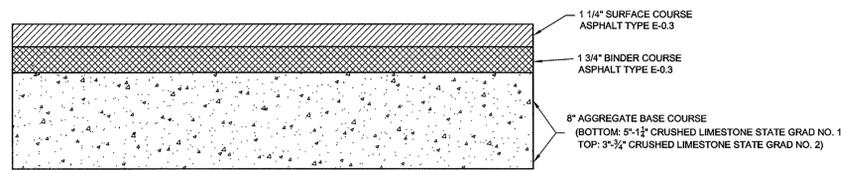
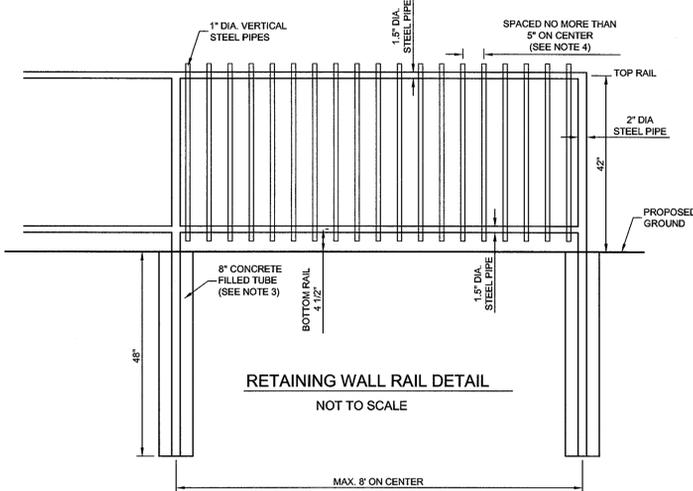
PROJECT MANAGER MO
PROJECT NUMBER 111333-01
DATE 9/14/12

UTILITY PLAN
C600
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NOTES:

1. ALL COMPONENTS SHALL WITHSTAND THE SHEAR AND BENDING PRODUCED BY A 200LB LOAD APPLIED IN ANY DIRECTION AT ANY POINT.
2. THE RAIL SHALL MEET THE REQUIREMENTS OF SECTION 1013 OF THE INTERNATIONAL BUILDING CODE (IBC).
3. CONCRETE FILLED TUBE TO BE SET DURING THE WALL CONSTRUCTION, NOT DRILLED THROUGH GEOGRID AFTERWARDS. COORDINATE RETAINING WALL AND RAIL DESIGN AND INSTALLATION.
4. OPEN GUARDS SHALL HAVE BALUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING.



UTILITY NOTES:

1. GENERAL:

- A. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION (STANDARD SPECS), THE WISCONSIN ADMINISTRATIVE CODE, THE REQUIREMENTS OF THE VILLAGE OF BROWN DEER AND THE MILWAUKEE METROPOLITAN SEWERAGE DISTRICT.
- B. THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- C. ALL UTILITY WORK SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. UTILITY CONTRACTOR IS RESPONSIBLE FOR LEVELING THE EXCESS SPOIL MATERIAL FROM THE TRENCH UNLESS OTHERWISE DIRECTED BY THE GENERAL CONTRACTOR.
- D. ALL BEDDING AND COVER MATERIAL SHALL BE CRUSHED STONE CHIPS PER THE STANDARD SPECS. SECTION 8.43.2.
- E. GRANULAR BACKFILL SHALL BE USED IN ALL PAVED AND CONCRETE AREAS AND WITHIN FIVE FEET OF SAID AREAS PER THE STANDARD SPEC. SECTION 8.43.4. SLURRY BACKFILL SHALL BE USED IN THE WEST BRADLEY ROAD RIGHT-OF-WAY. SPOIL BACKFILL SHALL BE USED IN LANDSCAPE AREAS PER THE STANDARD SPEC. SECTION 8.43.5.
- F. COORDINATE ALL BUILDING LATERALS WITH THE GENERAL CONTRACTOR PRIOR TO INSTALLING SAID LATERAL.
- G. THE WATER LATERAL, SANITARY LATERAL AND STORM SEWER SHALL BE INSTALLED WITH A TRACER WIRE CONSISTING OF AN INSULATED AWG #12 COPPER SOLID CORE WIRE TAPED TO THE LATERAL/MAIN. THIS IS IN ACCORDANCE WITH STAT. 1820715(2).

2. SANITARY SEWER:

- A. THE SANITARY SEWER PIPE SHALL BE PVC ASTM D-3034 SDR 35. JOINTS SHALL BE MADE BY THE USE OF AN ELASTOMERIC SEAL CONFORMING TO ASTM D3212.
- B. MARK THE ENDS OF THE LATERAL INSTALLED WITH A WOODEN 2" X 4" EXTENDING FROM THE INVERT OF THE LATERAL TO TWO FEET ABOVE GROUND LEVEL.

3. WATER MAIN:

- A. WATER LATERAL SHALL BE PVC AWWA C-900 DR18. JOINTS SHALL BE MADE BY THE USE OF ELASTOMERIC SEAL CONFORMING TO ASTM D3139.
- B. ALL VALVES SHALL MEET THE VILLAGE OF BROWN DEER REQUIREMENTS.
- C. MARK THE ENDS OF THE LATERAL INSTALLED WITH A WOODEN 2" X 4" EXTENDING FROM THE INVERT OF THE LATERAL TO TWO FEET ABOVE GROUND LEVEL.

GRADING & EROSION CONTROL NOTES:

- A. ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE VILLAGE OF BROWN DEER, WISCONSIN ADMINISTRATIVE CODE AND THE WISCONSIN DNR TECHNICAL STANDARDS.
- B. ALL DISTURBED AREAS ARE TO BE TOPSOILED (4" THICK), SEEDED, FERTILIZED AND STABILIZED WITH EROSION MAT (WIS DOT CLASS I, TYPE B). AREAS DISTURBED WITHIN THE RIGHT-OF-WAYS OF C.T.H. "D" SHALL BE RESTORED WITH TOPSOIL AND SOD. SEPTEMBER 15 IS THE DEADLINE FOR PERMANENT SEED. ANY AREAS EXPOSED AFTER SEPTEMBER 15 SHALL BE TEMPORARILY SEEDED WITH WINTER WHEAT AT THE RATE OF 3LBS/1000 S.F. THIS TEMPORARY COVER SHALL BE FERTILIZED AT SAME RATE & MIXTURE AS PERMANENT AND ALSO MULCHED. PERMANENT SEED SHALL THEN BE PLACED PRIOR TO JUNE 1 THE FOLLOWING YEAR. THE AREAS UNDER THE EROSION MAT SHALL BE SEEDED WITH PERMANENT AND TEMPORARY SEED SO THAT THE MAT DOES NOT HAVE TO BE REMOVED IN SPRING.
- C. TOPSOIL STOCKPILES SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF LAYUP USING AGRICULTURAL RYE WITH A SEEDING RATE OF 3LBS/1000 SQUARE FEET. INSTALL SILT FENCE ON THE DOWNSLOPE SIDE OF THE PILE TO REDUCE SEDIMENT RUNOFF.
- D. ALL CONSTRUCTION TRAFFIC IS TO ENTER/EXIT THE SITE FROM N. TEUTONIA AVENUE OVER THE TRACKING PAD. ALL PUBLIC STREETS ARE TO BE KEPT CLEAN AT ALL TIMES. N. TEUTONIA AVE (CTH D) IS TO BE CLEANED AT LEAST DAILY TO REMOVE DIRT AND DEBRIS.
- E. THE PERMANENT SEED MIXTURE SHALL BE WIS. DOT SEED MIXTURE NO.40 AND SOWN AT THE RATE OF 4 LBS/1000 SQ. FT.
- F. FERTILIZE SOIL WITH 10 LBS/1000 SQ. FT. OF 20-10-10 FERTILIZER.
- G. ANY DEWATERING THAT MAYBE REQUIRED DUE TO UTILITY OR BUILDING CONSTRUCTION SHALL BE COMPLETED SO THAT THE WATER IS PUMPED INTO A FILTER BAG AND THEN INTO AN EXISTING CATCH BASIN. DO NOT PUMP WATER DIRECTLY ONTO ANY STREET.
- H. ALL BUILDING AND WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE TO PREVENT RUNOFF OF MATERIAL INTO THE STORM SEWER SYSTEM.

CONSTRUCTION SEQUENCE:

1. INSTALL EROSION CONTROL MEASURES SUCH AS SILT FENCE, TRACKING PADS AND INLET PROTECTION ON THE CATCH BASINS. CONTINUOUS INSPECTIONS THROUGHOUT PROJECT. ON SITE GENERAL CONTRACTOR TO KEEP WRITTEN WEEKLY INSPECTION REPORTS. INSPECTIONS SHALL OCCUR WEEKLY OR WITHIN 24 HOURS AFTER EVERY RAIN EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE IN A 24 HOUR PERIOD. THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL EROSION CONTROL ITEMS AS REQUESTED BY THE VILLAGE OF BROWN DEER. ADDITIONAL EROSION MEASURES WOULD ONLY BE REQUIRED IF SEDIMENT ISSUES ARISE DURING CONSTRUCTION.
2. DEMOLITION WORK.
3. STRIP TOPSOIL FROM THE PROPOSED WORK AREA AND STOCKPILE.
4. ROUGH GRADE SITE AND BEGIN BUILDING CONSTRUCTION.
5. INSTALL UTILITIES. INSTALL INLET PROTECTION ON THE CATCH BASINS ONCE THEY HAVE BEEN INSTALLED.
6. GRADE SITE TO SUBGRADE.
7. STONE PARKING AND WALK AREAS.
8. INSTALL CURB & GUTTER AND SIDEWALK.
9. BACK FILL CURBS.
10. PAVE PARKING AREAS.
11. RESTORE ALL DISTURBED AREAS WITH TOPSOIL, SEED, MULCH AND EROSION MAT AS SPECIFIED.
12. CONTRACTOR TO REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES ONCE THE SITE IS 80% STABILIZED.

ESTIMATED START DATE: NOVEMBER 2012

ESTIMATED COMPLETION DATE: SEPTEMBER 2013

JFS DEERWOOD CROSSING - PHASE II

CIVIL CONSTRUCTION DETAILS
RE: LOT 2 C.S.M. No. 8149
PART OF THE NW 1/4 OF SECTION 13, T8N, R21E
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD.-WAUKESHA, WI 53188
TEL.No.(262) 542-5797 FAX (262) 542-7698
EMAIL: brohling@jahnkeandjahnke.com

SCALE: 1" = 20'
DRAWN BY: B.R. CHECKED BY: A.S.Z. FILE NO.: MILWAUKEE 892
BOOK NO.: MILWAUKEE 103 JOB: S-7997 SHEET 10 OF 10

FILE NAME: I:\PROJECTS\157897\DWG\157897\TA.ctb



epstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794
madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680



PROJECT INFORMATION

Deerwood Crossing - Phase 2

4195 W. Bradley Road
Brown Deer, WI 53209

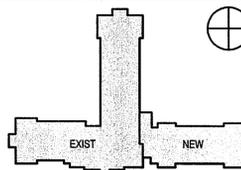
ISSUANCE AND REVISIONS

PLAN REVIEW / BID SET

REVISIONS

#	DATE	DESCRIPTION
1	9/28/12	ADDENDUM #1

KEYPLAN



SHEET INFORMATION

PROJECT MANAGER MO

PROJECT NUMBER 111333-01

DATE 9/14/12

CIVIL CONSTRUCTION DETAILS

C700



REQUEST FOR CONSIDERATION

COMMITTEE CONSIDERATION: Plan Commission
ITEM DESCRIPTION: Review and Recommendation of a Certified Survey Map for a land combination at 4195 W. Bradley Road
PREPARED BY: Nathaniel Piotrowski, Community Development Director
REPORT DATE: October 4, 2012
VILLAGE MANAGER'S REVIEW/COMMENTS: <input type="checkbox"/> No additional comments to this report. <input type="checkbox"/> See additional comments attached.
Applicable Land Use Regulation: Village of Brown Deer Code of Ordinances Sec. 117-52
VILLAGE ATTORNEY REVIEW: <input type="checkbox"/> Village Attorney has reviewed documents. <input type="checkbox"/> Village Attorney has not reviewed documents. <input type="checkbox"/> Documents provided to Village attorney.
COMPREHENSIVE PLAN REVIEW: <input type="checkbox"/> Staff has reviewed request for consistency with the Comprehensive Plan.

ANALYSIS:

Jewish Family Services, the owners of property at 4195 W. Bradley Road are seeking to combine two parcels of land at the intersection of Sherman Blvd., Bradley Road and Teutonia Avenue in order to facilitate the expansion of the Deerwood Crossing Residential Care Apartment Complex. The proposed CSM would eliminate the property line that previously divided the land into two separate parcels. The new addition would sit squarely across this line if it remains in place. The attached exhibit shows the current configuration of the parcels.

Staff has reviewed the measurements and coordinates on the attached CSM and has found that they are accurate. Lot 1 is located in the PD zoning district and the proposed dimensions conform to the required bulk regulations of the designated zoning district.

RECOMMENDATION:

Village Staff feels that the CSM is consistent with the area's zoning and is necessary to facilitate site development. Therefore it is suggested that the Plan Commission recommend approval of the Certified Survey Map to the Village Board.

Please feel free to contact Nate Piotrowski at (414) 371-3061, if you have any questions.

180.06'
 086-8887-001
 CSM 7982
 LOT 1
 180.06'
 174.06'

178.47'
 086-8887-004
 CSM 8149
 LOT 1
 101.03'
 530.17'

60.18'
 116.08'
 144.68'

115'
 086-8887-005
 CSM 8149
 LOT 2
 167.67'
 130.04'

75.46'
 587.09'
 335.70'

132'
 086-8888
 270'
 132'

65.00'
 086-8893-001
 234.00'

65.00'
 086-8893-002
 234.00'

130.04'
 086-8887-003
 CSM 7982
 LOT 3
 234.07'

179.45'
 086-8895-001

51'
 086-8889
 140'
 086-8891
 086-8892
 65'
 65'
 65'

65.00'
 CSM 640
 LOT 1

65.00'
 CSM 640
 LOT 2

51'
 086-8890
 140'
 65'
 100'
 100'
 100'

WEST WOODDALE AVENUE



CERTIFIED SURVEY MAP NO. _____

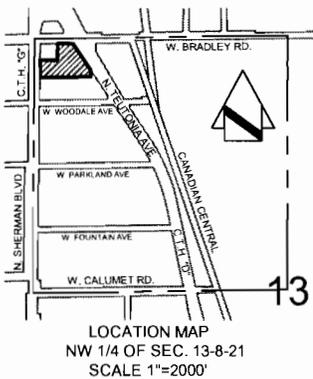
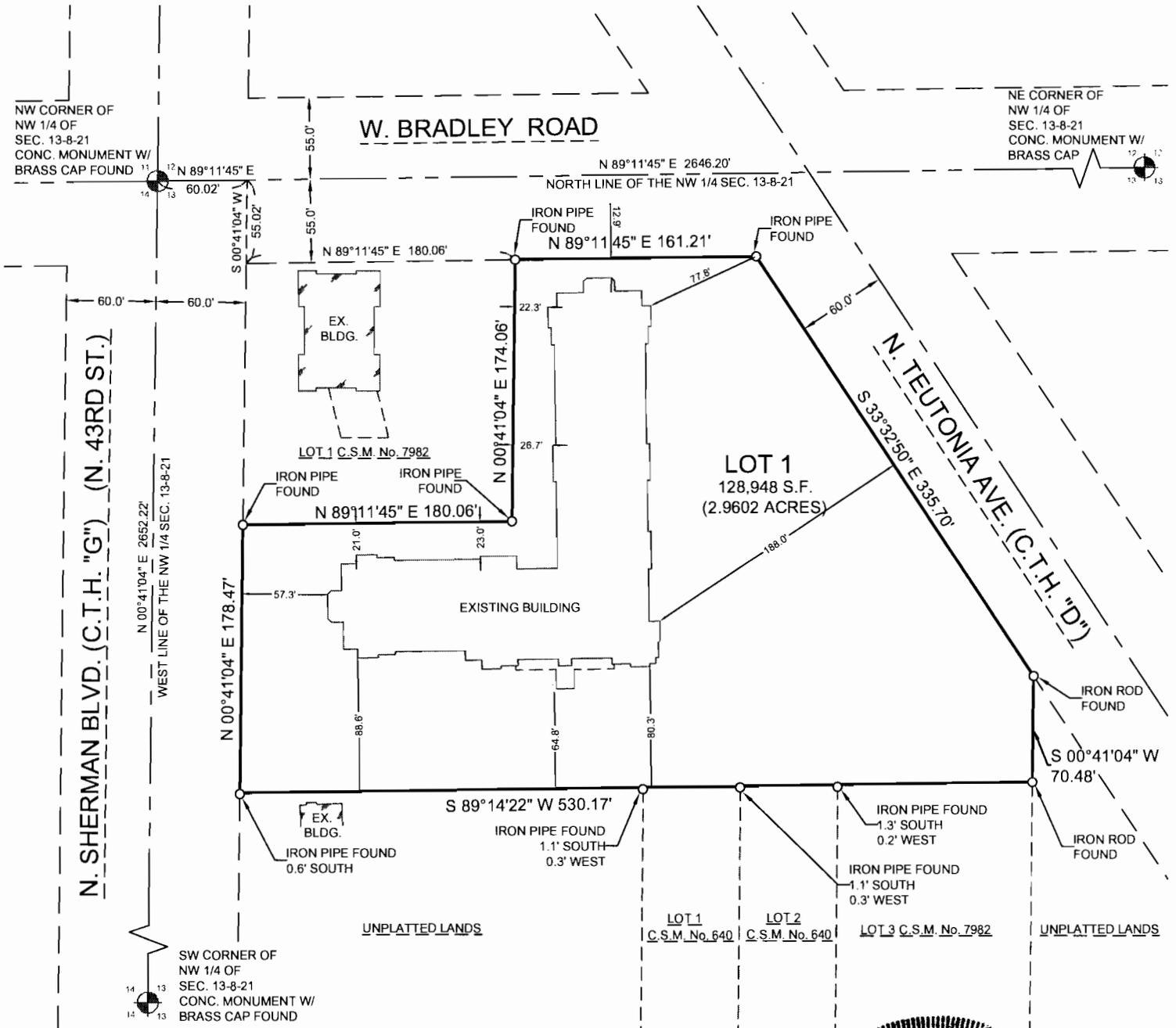
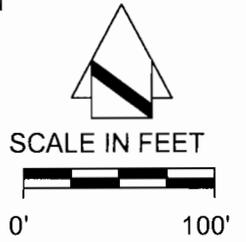
Sheet 1 of 6

Being a redivision of Lots 1 and 2 of CSM No. 8149
and Part of the NW 1/4 of the NW 1/4 of Section 13, Town 8 North, Range 21 East
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

SURVEYOR/ENGINEER:
JOHN R. STIGLER
JAHNKE & JAHNKE ASSOC., INC.
711 WEST MORELAND BLVD.
WAUKESHA, WI. 53188-2479
PHONE: 262-542-5797

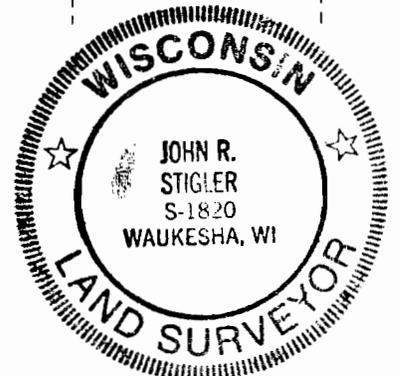
OWNERS:
JFS HOUSING BROWN DEER, LLC
1300 N. JACKSON ST.
MILWAUKEE, WI. 53202

LEGEND:
○ - IRON PIPE/ROD (FOUND)
● - CONC. MON. W/ BRASS CAP (FOUND)



REFERENCE BEARING: THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, TOWN 8 NORTH, RANGE 21 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF NORTH 00°41'04" EAST PER THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

NOTE:
SEE SHEET 2 FOR EASEMENT DETAILS AND SHEET 3 FOR BUILDING DETAILS.



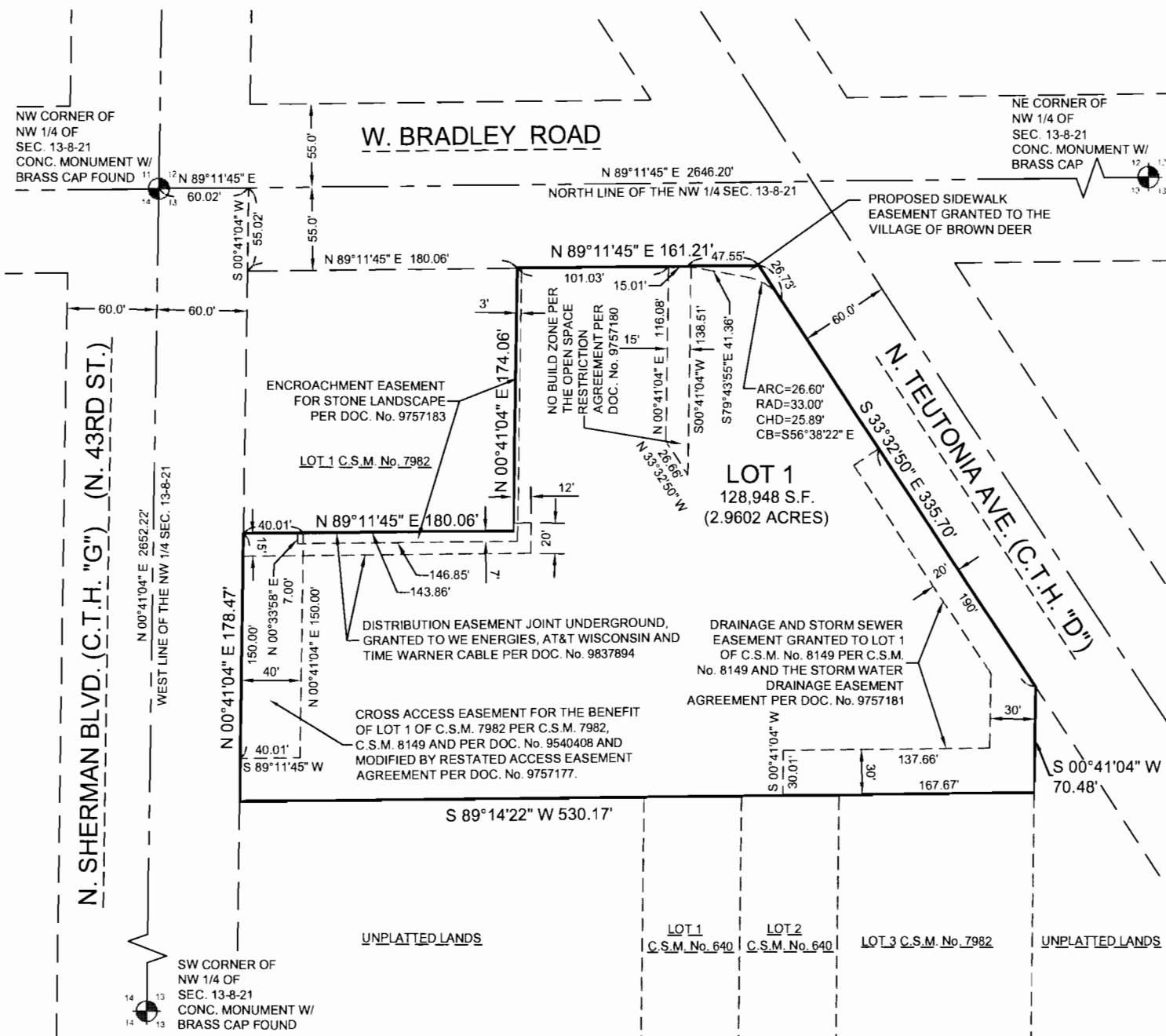
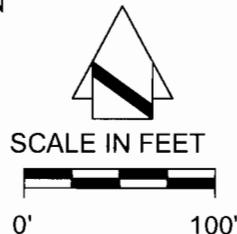
John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S - 1820
DATED THIS 4th DAY OF October, 2012

CERTIFIED SURVEY MAP NO. _____

Sheet 2 of 6

Being a redivision of Lots 1 and 2 of CSM No. 8149
and Part of the NW 1/4 of the NW 1/4 of Section 13, Town 8 North, Range 21 East
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

EASEMENT DETAILS



John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S - 1820
DATED THIS 4th DAY OF October, 2012

OWNERS: JFS HOUSING BROWN DEER, LLC

FILE NAME: S7997CSM.DWG
P.S. MILWAUKEE 1608

INSTRUMENT DRAFTED BY JOHN R. STIGLER

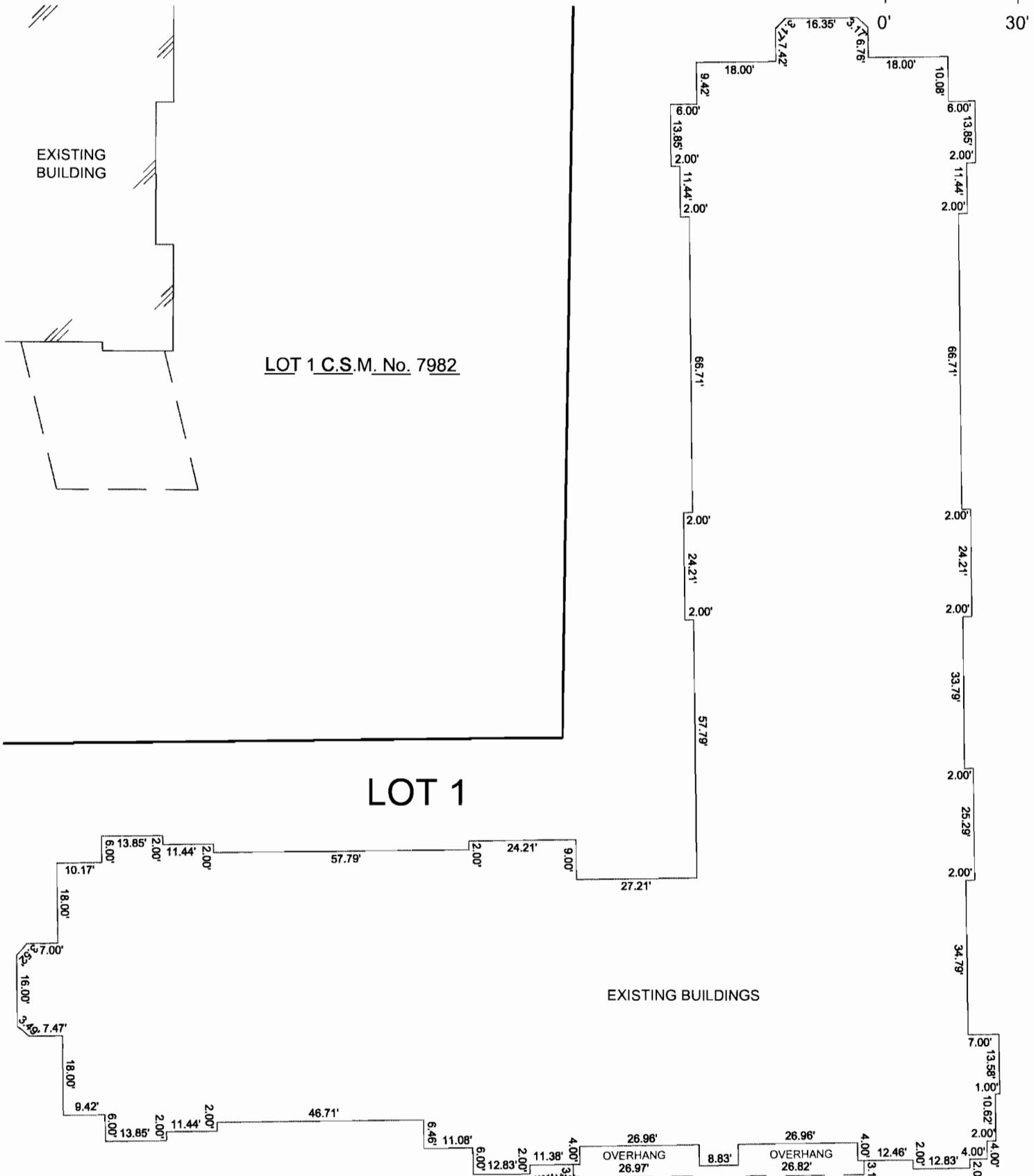
CERTIFIED SURVEY MAP NO. _____

Being a redivision of Lots 1 and 2 of CSM No. 8149
and Part of the NW 1/4 of the NW 1/4 of Section 13, Town 8 North, Range 21 East
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

BUILDING DETAIL



SCALE IN FEET



John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S 1820
DATED THIS 4th DAY OF October, 2012

OWNERS: JFS HOUSING BROWN DEER, LLC
FILE NAME: S7997CSM.DWG
P.S. MILWAUKEE 1608

INSTRUMENT DRAFTED BY JOHN R. STIGLER

CERTIFIED SURVEY MAP NO. _____

Sheet 4 of 6

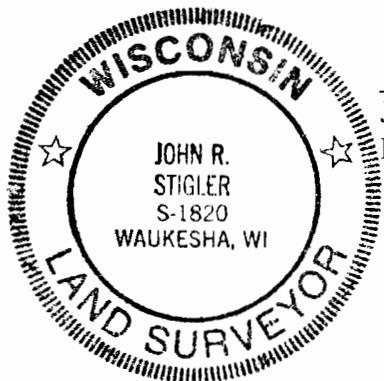
Being a redivision of Lots 1 and 2 of CSM No. 8149
and Part of the NW 1/4 of the NW 1/4 of Section 13, Town 8 North, Range 21 East
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, John R. Stigler, registered land surveyor, being duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped the following land bounded and described as follows:

Being a redivision of Lots 1 and 2 of Certified Survey Map No. 8149, as recorded on May 14, 2009 as Document No. 9738440, Milwaukee County Register of Deeds and being part of the Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4) of Section 13, Town 8 North, Range 21 East, Village of Brown Deer, Milwaukee County, Wisconsin bounded and described as follows: Commencing at the northwest corner of said Northwest Quarter (NW 1/4); thence North 89°11'45" East along the north line of said Northwest Quarter (NW 1/4) and the centerline of West Bradley Road 60.02 feet; thence South 00°41'04" West 55.02 feet to the south right-of-way line of West Bradley Road; thence North 89°11'45" East along said south right-of-way line 180.06 feet to the northwest corner of said Lot 1 and the place of beginning of the land hereinafter to be described; thence continuing North 89°11'45" East along said south right-of-way line 161.21 feet to the west right-of-way line of North Teutonia Avenue (CTH D); thence South 33°32'50" East along said west right-of-way line 335.70 feet; thence South 00°41'04" West 70.48 feet; thence South 89°14'22" West 530.17 feet to the east right-of-way line of North Sherman Boulevard (CTH G); thence North 00°41'04" East along said east right-of-way line 178.47 feet; thence North 89°11'45" East 180.06 feet; thence North 00°41'04" East 174.06 feet to the place of beginning. Containing 128,948 square feet (2.9602 acres) of land.

I further certify that I have made such survey, land division and map by the direction of JFS Housing Brown Deer, LLC, owner of said land, that such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made; and that I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the requirements of the Village of Brown Deer in surveying, dividing and mapping the same.



John R. Stigler
JOHN R. STIGLER – Wis. Reg. No. S-1820
Dated this 4th day of October, 2012

STATE OF WISCONSIN) ss
WAUKESHA COUNTY)

The above certificate subscribed and sworn to me this 4th day of October, 2012.

My commission expires July 21, 2013.

Anthony S. Zanon
ANTHONY S. ZANON – NOTARY PUBLIC



OWNERS: JFS HOUSING BROWN DEER, LLC

CERTIFIED SURVEY MAP NO. _____

Sheet 5 of 6

Being a redivision of Lots 1 and 2 of CSM No. 8149
and Part of the NW 1/4 of the NW 1/4 of Section 13, Town 8 North, Range 21 East
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE:

JFS HOUSING BROWN DEER, LLC, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said company caused the land described on this map to be surveyed, divided and mapped as represented on this map.

IN WITNESS WHEREOF, the said JFS HOUSING BROWN DEER, LLC, has caused these presents to be signed by SYLVAN LEABMAN, MEMBER, this _____ day of _____, 2012.

JFS HOUSING BROWN DEER, LLC

SYLVAN LEABMAN – MEMBER

STATE OF WISCONSIN)ss
COUNTY OF MILWAUKEE)

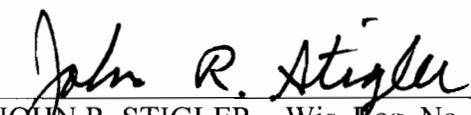
Personally came before me this ____ day of _____, 2012, SYLVAN LEABMAN, MEMBER of the above named company and to me known to be the person who executed the foregoing instrument as such officer as the deed of said company, by its authority and to me known to be such officer of said company.

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping of the land described on this map, and does hereby consent to the above certificate of JFS HOUSING BROWN DEER, LLC.

STATE OF WISCONSIN)ss
COUNTY OF _____)

Personally came before me this ____ day of _____, 2012, _____ of the above named corporation and to me known to be the person who executed the foregoing instrument as such officer as the deed of said corporation, by its authority and to me known to be such officer of said corporation.


JOHN R. STIGLER – Wis. Reg. No. S-1820
Dated this 4th day of October, 2012



CERTIFIED SURVEY MAP NO. _____

Sheet 6 of 6

Being a redivision of Lots 1 and 2 of CSM No. 8149
and Part of the NW 1/4 of the NW 1/4 of Section 13, Town 8 North, Range 21 East
VILLAGE OF BROWN DEER, MILWAUKEE COUNTY, WISCONSIN

PLANNING COMMISSION CERTIFICATE:

APPROVED by the Planning Commission of the Village of Brown Deer this ____ day of _____, 2012.

CARL KRUEGER, CHAIRPERSON

VILLAGE BOARD APPROVAL:

APPROVED by the Village Board of the Village of Brown Deer this ____ day of _____, 2012.

CARL KRUEGER, CHAIRPERSON

RUSSELL VAN GOMPEL, VILLAGE MANAGER/CLERK

John R. Stigler

JOHN R. STIGLER – Wis. Reg. No. S-1820
Dated this 4th day of October, 2012



OWNERS: JFS HOUSING BROWN DEER, LLC