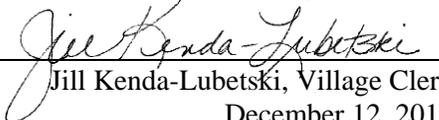


VILLAGE BOARD MEETING
Monday, December 16, 2019
Earl McGovern Board Room, 6:30 P.M.



PLEASE TAKE NOTICE that a meeting of the Brown Deer Village Board will be held at the Village Hall of the Village of Brown Deer, 4800 West Green Brook Drive, Brown Deer, Wisconsin at the above noted time and date, at which the following items of business will be discussed and possibly acted upon:

- I. Roll Call
- II. Pledge of Allegiance
- III. Persons Desiring to be Heard
- IV. **Consent Agenda**
 - A) Consideration of Minutes: December 2, 2019 – Regular Meeting
 - B) November 2019 Vouchers
 - C) October 2019 Financial Report
- V. **New Business**
 - A) Presentation by Baird on Financial Borrowings for the Library and CIP 2020/2021 Projects
 - B) Resolution No. 19-, “Providing for the Sale of Note Anticipation Notes and General Obligation Refunding Bonds to Finance 2020 and 2021 Capital Projects”
 - C) Discussion and Possible Action on the Offer to Purchase the Library Located at 5600 West Bradley Road
 - D) Discussion and Adoption of Village Attorney’s Contract with the Village of Brown Deer
 - E) Approve the Professional Services Agreement with Kapur Inc. for Streetscape Design on the West Brown Deer Road/STH 100 and North Green Bay Road/STH 57 WisDOT Projects
 - F) Approve the Professional Services Agreement with Kapur Inc. for Design Services on the Public Improvements in the Original Village as Part of the F-Street Group Development at the “Old” DPW
 - G) Recess into Closed Session pursuant to §19.85(1) (e) Wisconsin Statutes for the following reasons:
 - (e) Deliberating or negotiating the purchasing or public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session.
 - A) 51st and West Brown Deer Road Development
 - H) Reconvene into Open Session
 - I) Discussion and Possible Action on 51st and West Brown Deer Rd. Development Agreement
- VI. Village President’s Report
- VII. Village Committee Report
- VIII. Village Manager’s Report
- IX. Adjournment



Jill Kenda-Lubetski, Village Clerk
December 12, 2019

PERSONS REQUIRING SPECIAL ACCOMMODATIONS FOR ATTENDANCE AT THE MEETING SHOULD CONTACT THE VILLAGE CLERK AT LEAST ONE BUSINESS DAY PRIOR TO THE MEETING.

**BROWN DEER VILLAGE BOARD
DECEMBER 2, 2019 MEETING MINUTES
HELD AT THE BROWN DEER VILLAGE HALL
4800 WEST GREEN BROOK DRIVE**

The meeting was called to order by President Montgomery at 6:32 P.M.

I. Roll Call

Present: Village President Montgomery; Trustees: Booker, Quirk, Spencer, Springman, Wedward

Also Present: Michael Hall, Village Manager; Jill Kenda-Lubetski, Village Clerk; Susan Hudson, Comptroller; John Fuchs, Village Attorney; Nate Piotrowski, Community Development Director; Matthew Maederer, Public Works Director

Excused: Trustee Jeff Baker

II. Pledge of Allegiance

III. Persons Desiring to be Heard

Dr. Todd Beadle, 9087 North Brandybrook Trail, resident and Brown Deer School Board Member, expressed his concern that the Village is entertaining an offer to purchase for the Brown Deer Library property from a church. He believes the Library should remain as part of the school campus.

Dr. Monica Kelsey-Brown, 11100 West Villa Lane, Milwaukee, Brown Deer School District staff member, extended her support to Dr. Beadle's comments. She also said with the new apartments being built, this space is detrimental for the school.

IV. Public Hearing

A) 2020 Budget Presentation

It was moved by Trustee Spencer and seconded by Trustee Booker to open the Public Hearing for the 2020 Budget presentation. The motion carried unanimously.

Mr. Hall stated this was strictly formality due to the requirement of the 15-day notice in the newspaper per Wisconsin State Statute. There were no other comments and/or discussion.

V. Close Public Hearing

It was moved by Trustee Booker and seconded by Trustee Wedward to close the Public Hearing for the 2020 Budget presentation. The motion carried unanimously.

VI. Consent Agenda

- A) Consideration of Minutes: November 18, 2019 – Regular Meeting
- B) Consider Appointment of Election Inspectors for 2020-2021 Election Cycle

It was moved by Trustee Quirk and seconded by Trustee Wedward to approve the consent agenda items. The motion carried unanimously.

VII. New Business

- A) Brown Deer Neighborhood Watch

Mr. Maederer reported the Traffic and Public Safety Committee is proposing to add non-regulatory signage at various points throughout the Village identifying Brown Deer is a Neighborhood Watch Community.

Dale Gass, President of the Neighborhood Watch program in Brown Deer, offered a signage presentation on the installation of the signs. There are 43 designated locations where signs will be installed. The correct

installation is below the speed limit sign; 35 signs will be placed on these poles. The other eight (8) signs will be placed on their own free-standing pole with no other signage.

The same signs are utilized in the Cities of West Allis and Wauwatosa and are manufactured right here in Brown Deer at TAPCO on 51st and Brown Deer Road. There will be no additional cost or charge incurred to create the artwork.

Jacqueline Haessly, 9418 North Green Bay Road, Apt. 166, stated she had two issues with the sign. The first is the size of the text, and the other is the actual message in the sign. She likes the Welcome at the top of the sign but was wondering if the sign could be changed to possibly identify Village boundaries. She understands that we are utilizing the template for the same sign that West Allis and Wauwatosa uses. She also understands that additional costs may be incurred to change the sign besides the name of the municipality.

Mr. Gass stated a total of 50 signs were purchased with funds from the Neighborhood Watch Group; the Brown Deer Department of Public Works personnel will install as time permits.

It was moved by Trustee Quirk and seconded by Trustee Wedward to approve the installation of Neighborhood Watch Signs in Village owned right-of-way and Village owned property. The motion carried unanimously.

B) Discussion and Possible Action on an Offer to Purchase the Library Located at 5600 West Bradley Road

Mr. Hall provided a history of the property. At a joint meeting of the Village Board and School Board held in October of 2018, an agreement was considered that would have handed the library over to the school district in exchange for the school district transferring ownership of the Algonquin property to the Village. The school district was considering a complete renovation of the Brown Deer Library building into an early childhood center.

The Village advised school district officials that the village is no longer interested in the Algonquin property. The cost to install roads, sewer and water infrastructure is cost-prohibitive. Mr. Hall said the Village recently received a Commercial Offer to Purchase for the property from Shalom Baptist Church, Inc. for \$500,000, as is. The church is currently renting the Dolan Community Center every Sunday and most Tuesdays since 2017.

Dr. Deb Kerr, Superintendent of the Brown Deer School District, 8200 North 60th Street, stated the school district was not in a position to make a trade in 2018, but believes the Library should remain as part of the school district campus.

Dorinthia Robinson, 9107 North Park Plaza Drive, resident and Brown Deer School Board member, inquired if the church has a school. The pastor of the church confirmed that they do not have a school.

A discussion ensued regarding the need for a sprinkler system, lack of knowledge of some school board members regarding an exchange of the Algonquin property for the Library property, daycare/nursery available during church services, and additional apartment complexes being built.

It was the consensus to have a joint Village/School Board meeting on Monday, December 9, 2019 at 5:30 p.m. at the Brown Deer School District offices.

It was moved by Trustee Springman and seconded by Trustee Quirk to table the Commercial Offer to Purchase the Brown Deer Library Located at 5600 West Bradley Road received from Shalom Baptist Church, Inc. to the next Village Board meeting on December 16, 2019. The motion carried unanimously.

C) Approve Village Board Meeting Schedule for 2020

Mr. Hall stated that due to the holidays, the agenda for the first meeting in 2020, January 6th, will be relatively short.

He said some items that may be included on this agenda will include to start the process for borrowing funds, goals of the Village Board, an Attendance Policy for missed meetings.

Ms. Kenda-Lubetski said a short, very brief meeting will need to be scheduled with four of the Village Board members to determine the ballot placement of candidates' names on the Spring ballot. Four trustees offered to attend a meeting at a date to be determined after January 7th and before January 14th.

It was moved by Trustee Wedward and seconded by Trustee Springman to approve the Village Board Meeting Schedule for 2020, as presented. The motion carried unanimously.

D) Ordinance No. 19-, "An Ordinance to Repeal and Recreate Chapter 36 of the Village of Brown Deer Municipal Code Pertaining to Municipal Judge; Municipal Court

Attorney Fuchs stated that the City of Glendale and the Village of Brown Deer have the same judge for Municipal Court. The Village of Bayside has opted to join the Glendale/Brown Deer municipal court/judge, effective May 1, 2020. The Village of Bayside Municipal Court will operate out of the City of Glendale court offices.

The three joined communities will form the North Shore Municipal Court. The goal is to eventually have all seven North Shore communities join and operate municipal court operations from the North Shore Municipal Court location in Glendale.

The current Village of Brown Deer Court Clerk will remain an employee of the Village of Brown Deer. There will not be one single municipal court location for all three communities at this time.

The current multi-jurisdictional Municipal Judge's term expires in April of 2021.

A certified copy of this ordinance will need to be submitted to the Chief Judge of Milwaukee County.

It was moved by Trustee Quirk and seconded by Trustee Booker to approve Ordinance No. 19-, "An Ordinance to Repeal and Recreate Chapter 36 of the Village of Brown Deer Municipal Code Pertaining to Municipal Judge; Municipal Court. The motion carried unanimously.

E) Resolution No. 19-, "A Resolution of the Court Administrative Committee Designating Accounts and Determining Grandfather Employee Status"

Refer to Item VII(D).

Trustee Springman asked if we knew the retirement/separation plans of our current court clerk.

When the current Brown Deer Court Clerk retires, the new/replacement employee will be a member of the North Shore Municipal Court.

It was moved by President Montgomery and seconded by Trustee Quirk to approve Resolution No. 19-, "A Resolution of the Court Administrative Committee Designating Accounts and Determining Grandfather Employee Status". The motion carried unanimously.

VIII. Recess into Closed Session pursuant to §19.85(1) (c) Wisconsin Statutes for the following reasons:

- (c) Considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility.
 - a) Village Attorney Contract

It was moved by Trustee Springman and seconded by Trustee Quirk to recess into closed session at 7:47 p.m. The motion carried unanimously.

IX. Reconvene into Open Session for Possible Action on Closed Session Deliberations

It was moved by Trustee Wedward and seconded by Trustee Quirk to reconvene into open session at 8:32 p.m. The motion carried unanimously.

- a) Discussion and Possible Adoption of Village Attorney's Renewal of Contract

It was moved by Trustee Wedward and seconded by Trustee Quirk to table the possible adoption of the Village Attorney's contract for review of the contract at the next meeting. The motion carried unanimously.

X. Village President's Report

- President Montgomery said she did not provide a written report in this week's packet and did not have anything to share due to the Thanksgiving holiday.

XI. Village Manager's Report

- Mr. Hall informed the Village Board members that after the next Village Board meeting adjourns, the Village Attorney will host a gathering with spirits and libations for the Village Board members at Pastiche.
- Mr. Hall reported the Village received and responded to an Open Records Request for the names and email addresses of all individuals that receive the weekly Village Tracker e-newsletter. It is recommended to include a disclaimer when individuals sign up to receive this information.

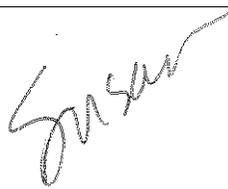
Trustee Quirk reported that the 4th of July Committee is going to be sending out a survey after the first of the year to residents asking what they like about the celebration, what would they like to see at the event, areas of improvement, what to discontinue, etc.

XI. Adjournment

It was moved by Trustee Springman and seconded by Trustee Wedward to adjourn at 8:43 p.m. The motion carried unanimously.



REQUEST FOR CONSIDERATION

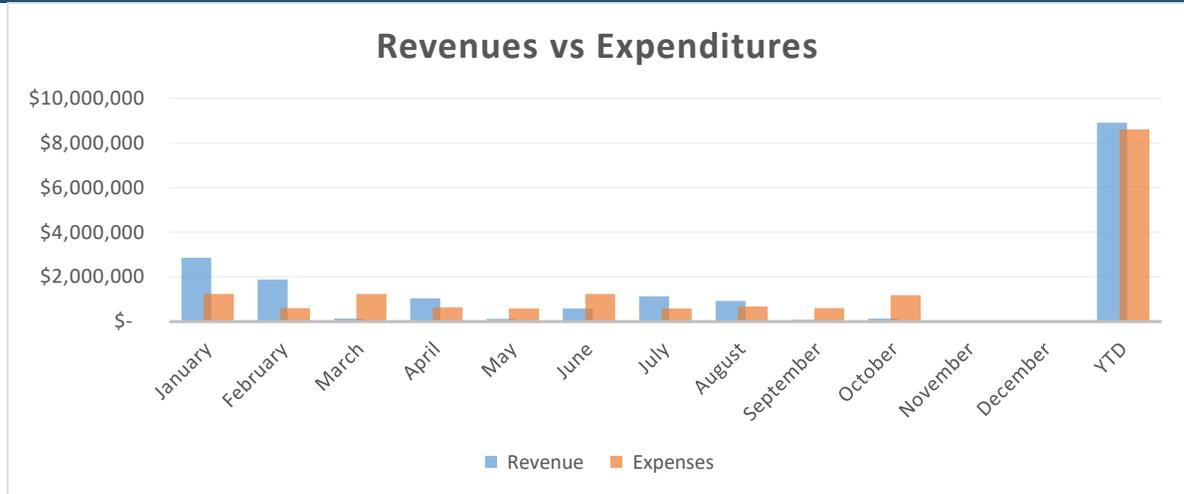
COMMITTEE:	Finance/Public Works Committee
ITEM DESCRIPTION:	October 2019 Financial Report
PREPARED BY:	Susan L Hudson, Treasurer / Comptroller 
REPORT DATE:	December 2, 2019
MANAGER'S REVIEW/COMMENTS:	<input checked="" type="checkbox"/> No additional comments to this report. <input type="checkbox"/> See additional comments attached.
RECOMMENDATION:	For Information Purposes
EXPLANATION:	<p>Attached is the Revenue and Expenditure Report as of October 31, 2019.</p> <p>Columns one and two compare activity for October 2018 and October 2019. Column three is the YTD balance as of October 2019 Column four is 2019 Budget Amount Column five is Available Balance Column six is percentage of Budget used</p> <p>Here are the top Three Financial Highlights from the month of October 2019:</p> <ol style="list-style-type: none">1. At the end of October, the General Fund has received 87.05% of budget revenue.2. At the end of October, the General Fund has spent 84.13% of budget expenditures.3. We are having another good year in investment interest. We have received just a little over \$74,000 through the end of October. <p>Please feel free to contact me if you have any questions or concerns.</p>

REVENUE AND EXPENDITURE REPORT FOR VILLAGE OF BROWN DEER
GENERAL FUND SUMMARY
PERIOD ENDING 10/31/19

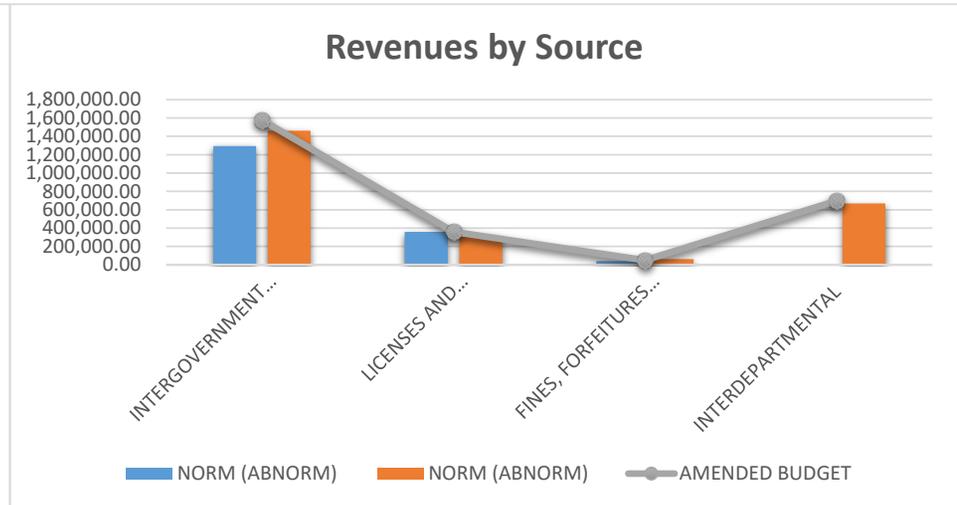
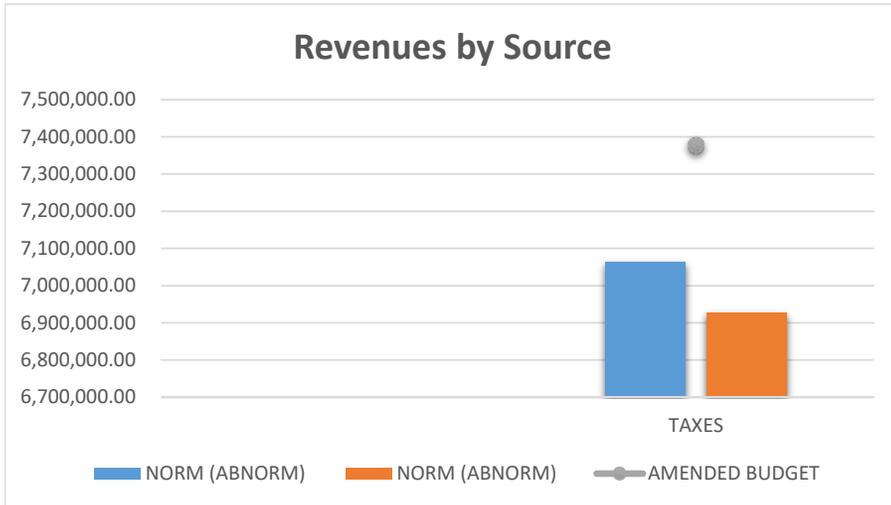
	CURRENT MONTH ACTUAL	YTD BALANCE 10/31/19 NORMAL (ABNORMAL)	2019 AMENDED BUDGET	AVAILABLE BALANCE NORMAL (ABNORMAL)	% BDGT YTD
REVENUES					
TAXES	86,049.28	7,063,613.91	7,379,186.00	315,572.09	95.72
INTERGOVERNMENTAL	0.00	1,294,861.27	1,577,649.00	282,787.73	82.08
LICENSES AND PERMITS	37,363.91	359,738.28	360,027.00	288.72	99.92
FINES, FORFEITURES AND PENALTIES	2,057.00	39,353.30	50,000.00	10,646.70	78.71
PUBLIC CHARGES FOR SERVICES	3,489.00	44,058.11	84,190.00	40,131.89	52.33
INTERDEPARTMENTAL	0.00	0.00	696,000.00	696,000.00	0.00
MISCELLANEOUS REVENUE	<u>0.00</u>	<u>117,873.48</u>	<u>99,375.00</u>	<u>(18,498.48)</u>	118.61
Total Revenue:	128,959.19	8,919,498.35	10,246,427.00	1,326,928.65	87.05
EXPENDITURES					
VILLAGE BOARD	2,422.12	28,345.29	37,966.00	9,620.71	74.66
VILLAGE ATTORNEY	0.00	119.00	10,000.00	9,881.00	1.19
VILLAGE MANAGER	27,252.46	344,604.45	490,797.00	146,192.55	70.21
ADMINISTRATIVE SERVICES	22,075.53	291,078.13	378,598.00	87,519.87	76.88
OTHER GENERAL GOVERNMENT	83,192.16	464,341.58	545,349.00	81,007.42	85.15
VILLAGE HALL	15,316.35	162,695.76	197,499.00	34,803.24	82.38
POLICE	315,702.96	3,062,970.94	3,745,299.00	682,328.06	81.78
FIRE	572,863.93	2,291,721.42	2,327,756.00	36,034.58	98.45
DISPATCH	0.00	412,262.84	408,863.00	(3,399.84)	100.83
PUBLIC WORKS	108,218.18	1,133,631.27	1,464,317.00	330,685.73	77.42
COMMUNITY SERVICES	23,898.06	253,127.28	316,530.00	63,402.72	79.97
PARK & REC	16,879.01	169,655.08	233,453.00	63,797.92	72.67
OTHER FINANCING USES	0.00	0.00	90,000.00	90,000.00	0.00
Total Expenditure:	1,187,820.76	8,614,553.04	10,246,427.00	1,631,873.96	84.07
TOTAL REVENUES - FUND 010	128,959.19	8,919,498.35	10,246,427.00	1,326,928.65	87.05
TOTAL EXPENDITURES - FUND 010	1,187,820.76	8,614,553.04	10,246,427.00	1,631,873.96	84.07
NET OF REVENUES & EXPENDITURES	(1,058,861.57)	304,945.31	0.00	(304,945.31)	100.00

GENERAL FUND REVENUES VS. EXPENDITURES - YTD ACTUALS

	Revenue	Expenses
January	\$ 2,854,289	\$ 1,240,432
February	\$ 1,892,225	\$ 607,781
March	\$ 130,752	\$ 1,243,544
April	\$ 1,043,113	\$ 635,767
May	\$ 120,761	\$ 591,501
June	\$ 584,381	\$ 1,239,265
July	\$ 1,137,581	\$ 593,549
August	\$ 932,161	\$ 675,251
September	\$ 88,580	\$ 599,633
October	\$ 128,959	\$ 1,187,821
November		
December		
YTD	\$ 8,912,802	\$ 8,614,544

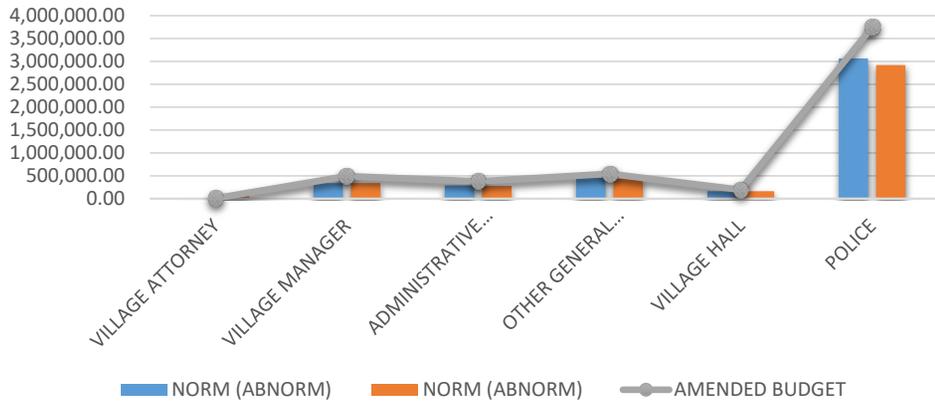


GENERAL FUND REVENUES BY SOURCE



GENERAL FUND EXPENDITURES BY DEPARTMENT

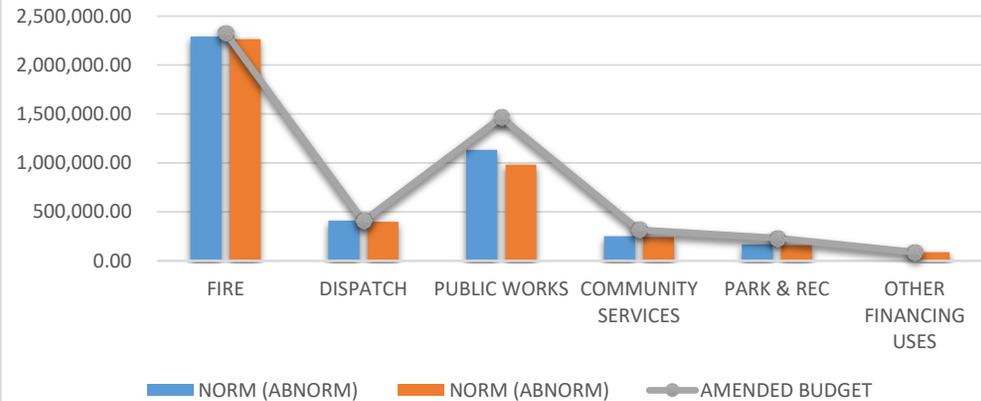
Expenditures by Department



	2019 YTD	2019 BUDGETED	2018 YTD
VILLAGE BOARD	119.00	37,966.00	90,096.00
VILLAGE ATTORNEY	344,604.45	94,840.00	341,254.35
VILLAGE MANAGER	291,078.13	470,422.00	280,000.65
ADMINISTRATIVE SERVICES	464,341.58	388,502.00	455,539.83
OTHER GENERAL GOVERNMENT	162,695.76	541,093.00	165,237.19
VILLAGE HALL	3,062,970.94	181,087.00	2,921,140.96

	2019 YTD	2019 BUDGETED	2018 YTD
POLICE	2,291,721.42	3,659,094.00	2,264,474.52
FIRE	412,262.84	2,201,847.00	400,585.15
DISPATCH	1,133,631.27	443,402.00	983,227.25
PUBLIC WORKS	253,127.28	1,401,507.00	242,637.80
COMM SERV	169,655.08	307,275.00	158,838.00
PARK & REC	0.00	219,462.00	90,000.00

Expenditures by Department



12/02/2019

REVENUE AND EXPENDITURE REPORT FOR VILLAGE OF BROWN DEER
 PERIOD ENDING 10/31/2019
 % Fiscal Year Completed: 83.29

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 10/31/18 INCR (DECR)	ACTIVITY FOR MONTH 10/31/19 INCR (DECR)	YTD BALANCE 10/31/2019 NORM (ABNORM)	2019 AMENDED BUDGET	AVAILABLE BALANCE NORM (ABNORM)	% BDGT USED
Fund 010 - GENERAL FUND							
Revenues							
Dept 000-11 - TAXES							
010-000-11-4-00-10	General Property Taxes	0.00	0.00	6,594,228.00	6,594,228.00	0.00	100.00
Total Dept 000-11 - TAXES		0.00	0.00	6,594,228.00	6,594,228.00	0.00	100.00
Dept 000-12 - TAXES							
010-000-12-4-00-10	Hotel Room Taxes	86,484.30	86,049.28	469,385.91	504,958.00	35,572.09	92.96
Total Dept 000-12 - TAXES		86,484.30	86,049.28	469,385.91	504,958.00	35,572.09	92.96
Dept 000-13 - TAXES							
010-000-13-4-00-10	Payments In Lieu of Taxes	0.00	0.00	0.00	280,000.00	280,000.00	0.00
Total Dept 000-13 - TAXES		0.00	0.00	0.00	280,000.00	280,000.00	0.00
Dept 000-31 - ACCOUNTS RECEIVALBE							
010-000-31-4-10-10	POLICE GRANT	0.00	0.00	1,216.00	0.00	(1,216.00)	100.00
Total Dept 000-31 - ACCOUNTS RECEIVALBE		0.00	0.00	1,216.00	0.00	(1,216.00)	100.00
Dept 000-34 - STATE SHARED REVENUE							
010-000-34-4-00-10	Shared Revenue	0.00	0.00	31,261.12	208,411.00	177,149.88	15.00
010-000-34-4-00-20	Fire Dues	0.00	0.00	0.00	35,000.00	35,000.00	0.00
010-000-34-4-00-30	Computer Exemptions	0.00	0.00	623,314.42	608,586.00	(14,728.42)	102.42
010-000-34-4-00-40	Expenditure Restraint	0.00	0.00	246,191.00	246,191.00	0.00	100.00
Total Dept 000-34 - STATE SHARED REVENUE		0.00	0.00	900,766.54	1,098,188.00	197,421.46	82.02
Dept 000-35 - STATE GRANTS							
010-000-35-4-20-00	Public Safety	4,160.00	0.00	11,975.63	4,000.00	(7,975.63)	299.39
010-000-35-4-30-10	Transportation Aids	132,072.69	0.00	380,903.10	475,461.00	94,557.90	80.11
Total Dept 000-35 - STATE GRANTS		136,232.69	0.00	392,878.73	479,461.00	86,582.27	81.94
Dept 000-41 - LICENSES & PERMITS							
010-000-41-4-10-10	Liquor & Malt Beverage	40.00	0.00	19,740.00	10,000.00	(9,740.00)	197.40
010-000-41-4-20-10	Bartender	210.00	0.00	3,780.00	3,200.00	(580.00)	118.13

010-000-41-4-20-15	Cigarette	0.00	100.00	1,100.00	400.00	(700.00)	275.00
010-000-41-4-20-30	Peddling & Other	0.00	25.00	3,090.00	3,500.00	410.00	88.29
010-000-41-4-20-40	Cable Franchise Fees	15,146.94	15,128.99	130,417.39	190,000.00	59,582.61	68.64
Total Dept 000-41 - LICENSES & PERMITS		15,396.94	15,253.99	158,127.39	207,100.00	48,972.61	76.35
Dept 000-42							
010-000-42-4-00-20	Dog/Cat Licenses	238.68	75.00	3,400.64	3,000.00	(400.64)	113.35
Total Dept 000-42		238.68	75.00	3,400.64	3,000.00	(400.64)	113.35
Dept 000-43 - INSPECTION PERMITS							
010-000-43-4-00-10	Building	4,901.20	4,855.90	109,017.52	64,687.00	(44,330.52)	168.53
010-000-43-4-00-20	Electrical	2,078.00	10,506.00	30,301.00	23,143.00	(7,158.00)	130.93
010-000-43-4-00-30	Plumbing	676.00	12,836.25	18,442.25	14,425.00	(4,017.25)	127.85
010-000-43-4-00-40	Heating & A/C	4,876.39	(9,606.43)	21,463.38	20,822.00	(641.38)	103.08
Total Dept 000-43 - INSPECTION PERMITS		12,531.59	18,591.72	179,224.15	123,077.00	(56,147.15)	145.62
Dept 000-44 - ZONING PERMITS & FEES							
010-000-44-4-00-10	Zoning Application Fees	150.00	150.00	1,600.00	4,500.00	2,900.00	35.56
010-000-44-4-00-20	Board of Appeals	0.00	0.00	0.00	350.00	350.00	0.00
010-000-44-4-00-30	Building Board Fee	60.00	180.00	540.00	1,000.00	460.00	54.00
Total Dept 000-44 - ZONING PERMITS & FEES		210.00	330.00	2,140.00	5,850.00	3,710.00	36.58
Dept 000-49 - OTHER PERMITS							
010-000-49-4-20-10	VACANT PROPERTY CERTIFICATE	250.00	250.00	4,250.00	5,000.00	750.00	85.00
010-000-49-4-20-20	Miscellaneous Permits	0.00	540.00	1,620.00	1,000.00	(620.00)	162.00
010-000-49-4-30-20	R-O-W Permits	11,463.20	2,323.20	10,976.10	15,000.00	4,023.90	73.17
Total Dept 000-49 - OTHER PERMITS		11,713.20	3,113.20	16,846.10	21,000.00	4,153.90	80.22
Dept 000-51 - DUE FROM OTHER FUNDS							
010-000-51-4-00-11	Parking Fees	4,712.20	2,057.00	39,353.30	50,000.00	10,646.70	78.71
Total Dept 000-51 - DUE FROM OTHER FUNDS		4,712.20	2,057.00	39,353.30	50,000.00	10,646.70	78.71
Dept 000-61 - PUBLIC CHARGES -ADMIN							
010-000-61-4-10-10	Photocopies	0.00	0.00	6.75	25.00	18.25	27.00
010-000-61-4-10-20	Property Information Certif	150.00	200.00	1,550.00	1,000.00	(550.00)	155.00
010-000-61-4-10-25	Prop Info Certificate-Reserved	10.00	10.00	180.00	500.00	320.00	36.00
Total Dept 000-61 - PUBLIC CHARGES -ADMIN		160.00	210.00	1,736.75	1,525.00	(211.75)	113.89
Dept 000-62 - INVENTORIES & PREPAIDS							
010-000-62-4-10-10	Photocopies	48.75	109.00	1,153.50	1,500.00	346.50	76.90
010-000-62-4-10-15	Alarm fees	6,020.00	3,070.00	11,910.00	20,000.00	8,090.00	59.55
010-000-62-4-10-30	Fingerprints/Misc	5,030.02	100.00	25,758.41	5,000.00	(20,758.41)	515.17

Total Dept 000-62 - INVENTORIES & PREPAIDS		11,098.77	3,279.00	38,821.91	26,500.00	(12,321.91)	146.50
Dept 000-63 - HWY/STREET MAINT. CHARGES							
010-000-63-4-00-20	DPW Services	400.00	0.00	1,125.00	1,500.00	375.00	75.00
Total Dept 000-63 - HWY/STREET MAINT. CHARGES		400.00	0.00	1,125.00	1,500.00	375.00	75.00
Dept 000-64 - SALES							
010-000-64-4-20-20	Sale of Materials-Recycling	699.70	0.00	374.45	0.00	(374.45)	100.00
Total Dept 000-64 - SALES		699.70	0.00	374.45	0.00	(374.45)	100.00
Dept 000-72							
010-000-72-4-10-10	ADMIN - POLICE SAFETY	6,421.66	0.00	1,857.28	6,000.00	4,142.72	30.95
Total Dept 000-72		6,421.66	0.00	1,857.28	6,000.00	4,142.72	30.95
Dept 000-73 - INTERGOVERNMENTAL CHARGES							
010-000-73-4-20-60	Municipal Range Usage Fees	0.00	0.00	2,000.00	2,000.00	0.00	100.00
010-000-73-4-50-50	HEALTH DEPT ADMIN/RENT FEE	52,665.00	0.00	0.00	52,665.00	52,665.00	0.00
Total Dept 000-73 - INTERGOVERNMENTAL CHARGES		52,665.00	0.00	2,000.00	54,665.00	52,665.00	3.66
Dept 000-74 - INTERDEPARTMENTAL CHARGES							
010-000-74-4-10-10	TIF 2 ADMINISTRATION FEE	125,411.00	0.00	0.00	125,000.00	125,000.00	0.00
010-000-74-4-10-20	TIF 3 ADMINISTRATION FEE	108,160.00	0.00	0.00	108,000.00	108,000.00	0.00
010-000-74-4-10-30	TIF 4 ADMINISTRATION FEE	150,561.00	0.00	0.00	150,000.00	150,000.00	0.00
010-000-74-4-20-40	Street Lighting Admin	3,000.00	0.00	0.00	3,000.00	3,000.00	0.00
010-000-74-4-40-10	SEWER ADMINISTRATION FEE	93,299.00	0.00	0.00	95,000.00	95,000.00	0.00
010-000-74-4-40-15	COURT ADMINISTRATION FEE	81,554.00	0.00	0.00	50,000.00	50,000.00	0.00
010-000-74-4-41-10	STORMWATER ADMINISTRATION FEE	73,798.00	0.00	0.00	75,000.00	75,000.00	0.00
010-000-74-4-42-10	Admin, Labor & Benefits-WATER	0.00	0.00	0.00	60,000.00	60,000.00	0.00
010-000-74-4-43-10	RECYCLING ADMINISTRATION FEE	32,810.00	0.00	0.00	25,000.00	25,000.00	0.00
010-000-74-4-43-20	Equipment & Materials-RECYCLIN	0.00	0.00	0.00	5,000.00	5,000.00	0.00
Total Dept 000-74 - INTERDEPARTMENTAL CHARGES		668,593.00	0.00	0.00	696,000.00	696,000.00	0.00
Dept 000-81 - INTEREST INCOME							
010-000-81-4-00-10	Investment Interest	16,024.09	0.00	74,028.54	45,000.00	(29,028.54)	164.51
010-000-81-4-00-20	Interest-Delinquent Taxes	0.00	0.00	23,491.08	25,000.00	1,508.92	93.96
Total Dept 000-81 - INTEREST INCOME		16,024.09	0.00	97,519.62	70,000.00	(27,519.62)	139.31
Dept 000-82 - MISCELLANEOUS REVENUE							
010-000-82-4-00-10	Rent Income	1,600.00	0.00	4,800.00	0.00	(4,800.00)	100.00
010-000-82-4-00-20	Insurance Dividends	0.00	0.00	0.00	18,000.00	18,000.00	0.00
010-000-82-4-00-50	Miscellaneous Revenue	60,537.84	0.00	12,755.56	5,375.00	(7,380.56)	237.31
Total Dept 000-82 - MISCELLANEOUS REVENUE		62,137.84	0.00	17,555.56	23,375.00	5,819.44	75.10

Dept 000-83 - OTHER INCOME							
010-000-83-4-00-10	Equipment Sales	0.00	0.00	941.02	0.00	(941.02)	100.00
Total Dept 000-83 - OTHER INCOME		0.00	0.00	941.02	0.00	(941.02)	100.00

TOTAL REVENUES		1,085,719.66	128,959.19	8,919,498.35	10,246,427.00	1,326,928.65	87.05
Expenditures							
Dept 000-00							
010-000-00-5-15-20	Group Insurance	(225.68)	(216.97)	(2,439.46)	0.00	2,439.46	100.00
Total Dept 000-00		(225.68)	(216.97)	(2,439.46)	0.00	2,439.46	100.00

Dept 110-11 - VILLAGE BOARD							
010-110-11-5-10-10	Salaries/Wages	2,250.00	2,250.00	21,750.00	27,000.00	5,250.00	80.56
010-110-11-5-15-15	FICA	172.12	172.12	1,663.89	2,066.00	402.11	80.54
010-110-11-5-20-20	Professional Services	0.00	0.00	0.00	4,000.00	4,000.00	0.00
010-110-11-5-30-10	Office Supplies, Equip & Exp	126.19	0.00	633.44	300.00	(333.44)	211.15
010-110-11-5-45-10	Professional Memberships	0.00	0.00	3,634.10	3,600.00	(34.10)	100.95
010-110-11-5-45-30	Professional Training	0.00	0.00	663.86	1,000.00	336.14	66.39
Total Dept 110-11 - VILLAGE BOARD		2,548.31	2,422.12	28,345.29	37,966.00	9,620.71	74.66

Dept 130-13 - LEGAL SERVICES							
010-130-13-5-21-10	Village Attorney Services	7,910.00	0.00	0.00	0.00	0.00	0.00
010-130-13-5-21-15	Other Legal Services	168.00	0.00	0.00	10,000.00	10,000.00	0.00
010-130-13-5-21-20	Labor Legal Services	6,589.50	0.00	119.00	0.00	(119.00)	100.00
Total Dept 130-13 - LEGAL SERVICES		14,667.50	0.00	119.00	10,000.00	9,881.00	1.19

Dept 140-14 - VILLAGE MANAGER							
010-140-14-5-10-10	Salaries/Wages	20,589.23	19,455.24	219,293.80	272,827.00	53,533.20	80.38
010-140-14-5-15-10	WI Retirement	1,386.94	1,190.03	14,345.12	17,870.00	3,524.88	80.27
010-140-14-5-15-15	FICA	1,490.13	1,406.48	15,744.20	20,871.00	5,126.80	75.44
010-140-14-5-15-20	Group Insurance	4,532.86	3,957.08	54,115.49	71,307.00	17,191.51	75.89
010-140-14-5-30-10	Office Supplies, Equip & Exp	0.00	0.00	0.00	300.00	300.00	0.00
010-140-14-5-30-40	Public Notices/Advertising	2,282.46	893.63	2,090.78	5,000.00	2,909.22	41.82
010-140-14-5-45-10	Professional Memberships	1,200.00	0.00	1,114.64	3,000.00	1,885.36	37.15
010-140-14-5-45-20	Professional Publications	0.00	0.00	0.00	250.00	250.00	0.00
010-140-14-5-45-30	Professional Training	98.74	0.00	4,713.45	5,000.00	286.55	94.27
010-140-14-5-45-40	Mileage Reimbursement	350.00	350.00	3,323.76	4,500.00	1,176.24	73.86
Total Dept 140-14 - VILLAGE MANAGER		31,930.36	27,252.46	314,741.24	400,925.00	86,183.76	78.50

Dept 141-14 - VILLAGE MNGER - PERSONNEL ADMINISTRATION							

010-141-14-5-15-10	WI Retirement	0.00	0.00	1,497.06	0.00	(1,497.06)	100.00
010-141-14-5-15-15	FICA	0.00	0.00	1,514.70	0.00	(1,514.70)	100.00
010-141-14-5-20-25	Employment Services	0.00	0.00	175.25	2,500.00	2,324.75	7.01
010-141-14-5-30-40	Public Notices/Advertising	0.00	0.00	0.00	500.00	500.00	0.00
010-141-14-5-34-40	Employee Recognition	0.00	0.00	786.79	5,000.00	4,213.21	15.74
010-141-14-5-34-45	EMPLOYEE PERFORMANCE	0.00	0.00	19,800.00	61,372.00	41,572.00	32.26
Total Dept 141-14 - VILLAGE MNGER - PERSONNEL ADMINISTRATION		0.00	0.00	23,773.80	69,372.00	45,598.20	34.27
Dept 142-14 - ELECTIONS							
010-142-14-5-11-20	Election Workers	0.00	0.00	4,570.59	8,000.00	3,429.41	57.13
010-142-14-5-15-10	WI Retirement	0.00	0.00	27.88	0.00	(27.88)	100.00
010-142-14-5-15-15	FICA	0.00	0.00	29.96	0.00	(29.96)	100.00
010-142-14-5-15-20	Group Insurance	0.00	0.00	208.78	0.00	(208.78)	100.00
010-142-14-5-24-10	Equipment Maintenance Services	0.00	0.00	3,120.00	6,000.00	2,880.00	52.00
010-142-14-5-30-10	Office Supplies, Equip & Exp	0.00	0.00	1,143.96	6,500.00	5,356.04	17.60
Total Dept 142-14 - ELECTIONS		0.00	0.00	9,101.17	20,500.00	11,398.83	44.40
Dept 150-15 - ADMINISTRATIVE SERVICES							
010-150-15-5-10-10	Salaries/Wages	16,276.33	16,644.29	174,210.20	215,438.00	41,227.80	80.86
010-150-15-5-15-10	WI Retirement	1,095.89	1,095.49	11,463.69	14,111.00	2,647.31	81.24
010-150-15-5-15-15	FICA	1,197.10	1,217.42	12,779.34	16,480.00	3,700.66	77.54
010-150-15-5-15-20	Group Insurance	2,640.57	3,117.80	31,336.51	40,008.00	8,671.49	78.33
010-150-15-5-20-20	Professional Services	0.00	0.00	23,045.00	30,729.00	7,684.00	74.99
010-150-15-5-20-35	Technical Services	0.00	0.00	7,701.00	7,632.00	(69.00)	100.90
010-150-15-5-30-30	Service Fees	3,053.36	217.50	2,616.17	16,000.00	13,383.83	16.35
010-150-15-5-45-10	Professional Memberships	0.00	0.00	897.01	700.00	(197.01)	128.14
010-150-15-5-45-20	Professional Publications	0.00	0.00	521.04	0.00	(521.04)	100.00
010-150-15-5-45-30	Professional Training	183.43	0.00	1,447.63	10,000.00	8,552.37	14.48
Total Dept 150-15 - ADMINISTRATIVE SERVICES		24,446.68	22,292.50	266,017.59	351,098.00	85,080.41	75.77
Dept 151-15 - ASSESSOR							
010-151-15-5-20-20	Professional Services	2,158.98	0.00	27,500.00	27,500.00	0.00	100.00
Total Dept 151-15 - ASSESSOR		2,158.98	0.00	27,500.00	27,500.00	0.00	100.00
Dept 191-14 - OTHER GENERAL GOVERNMENT							
010-191-14-5-20-40	Printing Services	0.00	0.00	242.05	3,000.00	2,757.95	8.07
010-191-14-5-24-10	Equipment Maintenance Services	789.39	281.33	8,180.69	15,944.00	7,763.31	51.31
010-191-14-5-30-10	Office Supplies, Equip & Exp	1,545.73	117.45	10,394.83	15,000.00	4,605.17	69.30
010-191-14-5-30-15	Postage & Mailing	1,748.52	0.00	5,135.91	15,000.00	9,864.09	34.24
010-191-14-5-30-20	Communications	1,449.58	1,546.08	11,439.99	16,000.00	4,560.01	71.50
010-191-14-5-30-22	Communication-Wireless Service	1,126.56	3,521.06	16,770.15	22,000.00	5,229.85	76.23
010-191-14-5-30-25	Communication-Internet Service	736.15	741.23	8,122.85	8,900.00	777.15	91.27

010-191-14-5-30-30	Marketing Plan	45.00	0.00	1,092.91	940.00	(152.91)	116.27
Total Dept 191-14 - OTHER GENERAL GOVERNMENT		7,440.93	6,207.15	61,379.38	96,784.00	35,404.62	63.42
Dept 192-14 - INFORMATION TECHNOLOGY							
010-192-14-5-20-35	Technical Services	12,541.67	0.00	84,458.10	100,000.00	15,541.90	84.46
010-192-14-5-30-10	Office Supplies, Equip & Exp	0.00	0.00	99.00	500.00	401.00	19.80
Total Dept 192-14 - INFORMATION TECHNOLOGY		12,541.67	0.00	84,557.10	100,500.00	15,942.90	84.14
Dept 193-41 - INTERGOVERNMENTAL EXP.							
010-193-41-5-26-40	Milw Area Domestic Animal Ctrl	7,153.21	7,407.41	20,856.10	20,857.00	0.90	100.00
010-193-41-5-26-45	North Shore Health Dpt Contrib	0.00	32,574.25	130,297.00	130,297.00	0.00	100.00
Total Dept 193-41 - INTERGOVERNMENTAL EXP.		7,153.21	39,981.66	151,153.10	151,154.00	0.90	100.00
Dept 194-51 - HISTORICAL SOCIETY							
010-194-51-5-22-10	Natural Gas/Electric Service	10.29	(83.84)	654.05	1,000.00	345.95	65.41
Total Dept 194-51 - HISTORICAL SOCIETY		10.29	(83.84)	654.05	1,000.00	345.95	65.41
Dept 195-18 - PERSONNEL POST-EMPLOYMENT							
010-195-18-5-15-20	Group Insurance	975.00	300.00	10,342.75	11,850.00	1,507.25	87.28
010-195-18-5-39-20	Unemployment Compensation	553.65	0.00	142.15	5,000.00	4,857.85	2.84
Total Dept 195-18 - PERSONNEL POST-EMPLOYMENT		1,528.65	300.00	10,484.90	16,850.00	6,365.10	62.22
Dept 195-28 - Other General Government							
010-195-28-5-15-15	FICA	10.78	17.19	127.05	193.00	65.95	65.83
010-195-28-5-39-21	EMPLOYEE WELLNESS BENEFIT	200.00	200.00	2,070.00	2,520.00	450.00	82.14
Total Dept 195-28 - Other General Government		210.78	217.19	2,197.05	2,713.00	515.95	80.98
Dept 195-38 - GROUP INSURANCE - EAP							
010-195-38-5-15-20	GROUP INSURANCE - EAP	500.00	500.00	2,000.00	2,000.00	0.00	100.00
Total Dept 195-38 - GROUP INSURANCE - EAP		500.00	500.00	2,000.00	2,000.00	0.00	100.00
Dept 199-19 - PROPERTY INSURANCE							
010-199-19-5-51-10	Property Insurance-Bldg/PPO	0.00	0.00	0.00	14,077.00	14,077.00	0.00
010-199-19-5-51-15	Contractor's Equipment	0.00	0.00	0.00	1,269.00	1,269.00	0.00
010-199-19-5-51-20	Monies & Securities	0.00	0.00	0.00	1,798.00	1,798.00	0.00
010-199-19-5-51-25	Auto Physiscal Damage	0.00	0.00	12,973.00	11,894.00	(1,079.00)	109.07
010-199-19-5-51-30	Boiler & Machinery	0.00	0.00	481.00	488.00	7.00	98.57
010-199-19-5-51-35	Combination Crime & Security	0.00	0.00	0.00	545.00	545.00	0.00
010-199-19-5-51-40	Worker Compensation Ins	59,152.00	36,070.00	138,462.00	144,277.00	5,815.00	95.97
Total Dept 199-19 - PROPERTY INSURANCE		59,152.00	36,070.00	151,916.00	174,348.00	22,432.00	87.13
Dept 199-92 - OTHER FINANCING USES							

010-199-92-5-70-10	Transfer to Liability Ins Fund	90,000.00	0.00	0.00	90,000.00	90,000.00	0.00
Total Dept 199-92 - OTHER FINANCING USES		90,000.00	0.00	0.00	90,000.00	90,000.00	0.00

Dept 210-21 - POLICE DEPARTMENT

010-210-21-5-10-10	Salaries/Wages	190,469.10	195,485.46	2,076,315.06	2,500,817.00	424,501.94	83.03
010-210-21-5-12-10	Add Pay-Holiday/Special	820.50	1,636.50	16,062.94	34,400.00	18,337.06	46.69
010-210-21-5-12-20	Uniform Allowance	1,514.10	1,425.45	10,885.51	18,000.00	7,114.49	60.48
010-210-21-5-14-00	Overtime	5,767.95	7,874.32	49,689.37	42,000.00	(7,689.37)	118.31
010-210-21-5-15-10	WI Retirement	21,169.07	21,509.46	223,628.75	261,927.00	38,298.25	85.38
010-210-21-5-15-15	FICA	14,387.32	14,920.10	156,476.89	189,340.00	32,863.11	82.64
010-210-21-5-15-20	Group Insurance	32,197.18	35,533.43	368,795.98	505,315.00	136,519.02	72.98
010-210-21-5-20-25	Employment Services	0.00	950.00	3,650.81	3,000.00	(650.81)	121.69
010-210-21-5-20-35	Technical Services	1,799.99	0.00	390.98	3,000.00	2,609.02	13.03
010-210-21-5-24-10	Equipment Maintenance Services	242.62	291.34	4,372.72	8,000.00	3,627.28	54.66
010-210-21-5-29-40	Towing Services	0.00	0.00	0.00	500.00	500.00	0.00
010-210-21-5-30-10	Office Supplies, Equip & Exp	1,365.50	95.95	5,084.79	10,000.00	4,915.21	50.85
010-210-21-5-30-20	RADIO FEES	0.00	10,200.00	10,295.00	10,000.00	(295.00)	102.95
010-210-21-5-30-30	Service Fees	665.70	674.48	12,354.07	15,000.00	2,645.93	82.36
010-210-21-5-30-45	AXON	0.00	13,028.79	37,004.20	38,500.00	1,495.80	96.11
010-210-21-5-34-10	Fuel, Oil & Lubricants	4,886.95	3,895.77	35,186.90	42,000.00	6,813.10	83.78
010-210-21-5-34-20	Vehicle Supplies	430.60	21.00	585.08	1,500.00	914.92	39.01
010-210-21-5-34-35	Uniforms/Coveralls	0.00	3,404.89	9,387.34	7,000.00	(2,387.34)	134.10
010-210-21-5-34-40	Employee Recognition	98.36	0.00	1,356.86	1,500.00	143.14	90.46
010-210-21-5-35-20	Vehicle Repair/Maint Supplies	3,279.01	3,156.39	11,432.00	15,000.00	3,568.00	76.21
010-210-21-5-39-25	Crime Prevention Supplies	29.98	0.00	621.72	1,500.00	878.28	41.45
010-210-21-5-39-30	Investigation Supplies	0.00	0.00	1,307.52	2,000.00	692.48	65.38
010-210-21-5-39-35	K-9 Program	111.25	1,131.40	3,558.35	4,000.00	441.65	88.96
010-210-21-5-39-40	Ammunition	17.03	0.00	6,008.37	8,000.00	1,991.63	75.10
010-210-21-5-39-50	Confinement Costs	498.90	0.00	527.70	500.00	(27.70)	105.54
010-210-21-5-45-10	Professional Memberships	0.00	0.00	1,474.60	2,500.00	1,025.40	58.98
010-210-21-5-45-30	Professional Training	1,470.82	468.23	16,517.43	20,000.00	3,482.57	82.59
Total Dept 210-21 - POLICE DEPARTMENT		281,221.93	315,702.96	3,062,970.94	3,745,299.00	682,328.06	81.78

Dept 220-22 - FIRE DEPARTMENT - EG

010-220-22-5-24-10	Equipment Maintenance Services	27.50	24.93	365.42	400.00	34.58	91.36
010-220-22-5-26-40	Fire Dues Distribution	0.00	0.00	0.00	36,000.00	36,000.00	0.00
010-220-22-5-26-55	North Shore Fire Dept Contrib	0.00	572,839.00	2,291,356.00	2,291,356.00	0.00	100.00
Total Dept 220-22 - FIRE DEPARTMENT - EG		27.50	572,863.93	2,291,721.42	2,327,756.00	36,034.58	98.45

Dept 230-23 - DISPATCH SERVICES

010-230-23-5-20-35	Technical Services	0.00	0.00	5,400.00	2,000.00	(3,400.00)	270.00
010-230-23-5-26-51	Consolidated Dispatch Services	0.00	0.00	406,862.84	406,863.00	0.16	100.00

Total Dept 230-23 - DISPATCH SERVICES		0.00	0.00	412,262.84	408,863.00	(3,399.84)	100.83
Dept 310-31 - PUBLIC WORKS ADMINISTRATION							
010-310-31-5-10-10	Salaries/Wages	10,370.16	11,961.07	137,675.84	165,009.00	27,333.16	83.44
010-310-31-5-12-20	Uniform Allowance	162.89	0.00	1,811.93	0.00	(1,811.93)	100.00
010-310-31-5-14-00	Overtime	0.00	0.00	0.00	500.00	500.00	0.00
010-310-31-5-15-10	WI Retirement	717.49	805.56	9,231.61	10,808.00	1,576.39	85.41
010-310-31-5-15-15	FICA	781.30	884.02	10,209.45	12,623.00	2,413.55	80.88
010-310-31-5-15-20	Group Insurance	3,260.16	4,083.96	53,222.34	58,286.00	5,063.66	91.31
010-310-31-5-30-10	Office Supplies, Equip & Exp	158.59	0.00	598.19	1,000.00	401.81	59.82
010-310-31-5-30-20	Communications	226.76	990.61	7,153.80	4,500.00	(2,653.80)	158.97
010-310-31-5-30-30	RADIO FEES	0.00	2,448.00	2,448.00	0.00	(2,448.00)	100.00
010-310-31-5-45-10	Professional Memberships	0.00	0.00	950.84	3,000.00	2,049.16	31.69
010-310-31-5-45-20	Professional Publications	0.00	0.00	1,642.16	2,500.00	857.84	65.69
010-310-31-5-45-30	Professional Training	0.00	1,092.14	3,365.98	4,000.00	634.02	84.15
Total Dept 310-31 - PUBLIC WORKS ADMINISTRATION		15,677.35	22,265.36	228,310.14	262,226.00	33,915.86	87.07
Dept 311-33 - DPW STREETS/TRAFFIC OPERATIONS							
010-311-33-5-10-10	Salaries/Wages	754.98	1,564.16	33,466.49	63,329.00	29,862.51	52.85
010-311-33-5-15-10	WI Retirement	50.59	102.45	1,710.03	4,148.00	2,437.97	41.23
010-311-33-5-15-15	FICA	54.45	112.12	2,442.90	4,845.00	2,402.10	50.42
010-311-33-5-15-20	Group Insurance	251.71	622.16	8,879.94	23,314.00	14,434.06	38.09
010-311-33-5-22-10	Street Lighting-Elec Service	81.12	82.46	917.25	36,000.00	35,082.75	2.55
010-311-33-5-22-15	Street Lighting Elec Chrgs-TID	209.92	1,424.15	8,418.46	15,000.00	6,581.54	56.12
010-311-33-5-23-20	Turf Maintenance	7,006.17	13,769.74	27,977.53	35,000.00	7,022.47	79.94
010-311-33-5-23-25	Pavement Marking Services	22,404.01	0.00	0.00	20,000.00	20,000.00	0.00
010-311-33-5-29-50	Equipment Rental	0.00	0.00	0.00	1,000.00	1,000.00	0.00
010-311-33-5-35-30	Tools & Supplies	99.06	62.99	247.13	500.00	252.87	49.43
010-311-33-5-37-10	Operations Material & Supplies	1,310.83	249.75	7,386.00	15,000.00	7,614.00	49.24
010-311-33-5-37-15	Street Signs & Supplies	0.00	366.60	1,827.50	5,000.00	3,172.50	36.55
Total Dept 311-33 - DPW STREETS/TRAFFIC OPERATIONS		32,222.84	18,356.58	93,273.23	223,136.00	129,862.77	41.80
Dept 312-34 - DPW SIDEWALK MAINTENANCE							
010-312-34-5-29-50	Equipment Rental	0.00	0.00	0.00	1,000.00	1,000.00	0.00
010-312-34-5-37-10	Operations Material & Supplies	0.00	0.00	0.00	5,000.00	5,000.00	0.00
Total Dept 312-34 - DPW SIDEWALK MAINTENANCE		0.00	0.00	0.00	6,000.00	6,000.00	0.00
Dept 313-33 - DPW WINTER OPERATIONS							
010-313-33-5-10-10	Salaries/Wages	2,509.14	535.02	63,031.15	55,782.00	(7,249.15)	113.00
010-313-33-5-14-00	Overtime	0.00	0.00	2,409.57	5,000.00	2,590.43	48.19
010-313-33-5-15-10	WI Retirement	168.11	35.03	4,286.34	3,654.00	(632.34)	117.31
010-313-33-5-15-15	FICA	179.79	37.74	4,748.29	4,267.00	(481.29)	111.28

010-313-33-5-15-20	Group Insurance	788.87	215.49	16,759.75	20,400.00	3,640.25	82.16
010-313-33-5-35-20	Vehicle Repair/Maint Supplies	0.00	0.00	2,126.21	5,000.00	2,873.79	42.52
010-313-33-5-35-30	Tools & Supplies	206.33	0.00	752.39	1,000.00	247.61	75.24
010-313-33-5-37-10	Operations Material & Supplies	0.00	87.70	88,728.61	75,000.00	(13,728.61)	118.30
Total Dept 313-33 - DPW WINTER OPERATIONS		3,852.24	910.98	182,842.31	170,103.00	(12,739.31)	107.49
Dept 317-61 - DPW FORESTRY OPERATIONS							
010-317-61-5-10-10	Salaries/Wages	4,572.53	1,206.66	56,846.31	48,227.00	(8,619.31)	117.87
010-317-61-5-14-00	Overtime	0.00	0.00	219.92	0.00	(219.92)	100.00
010-317-61-5-15-10	WI Retirement	306.35	63.17	3,526.40	3,159.00	(367.40)	111.63
010-317-61-5-15-15	FICA	330.05	88.24	4,145.66	3,689.00	(456.66)	112.38
010-317-61-5-15-20	Group Insurance	1,097.43	325.64	14,940.33	17,486.00	2,545.67	85.44
010-317-61-5-29-50	Equipment Rental	0.00	0.00	0.00	500.00	500.00	0.00
010-317-61-5-35-30	Tools & Supplies	107.03	0.00	523.46	1,500.00	976.54	34.90
010-317-61-5-37-10	Operations Material & Supplies	0.00	0.00	4,498.88	5,000.00	501.12	89.98
Total Dept 317-61 - DPW FORESTRY OPERATIONS		6,413.39	1,683.71	84,700.96	79,561.00	(5,139.96)	106.46
Dept 319-16 - DPW MUNICIPAL COMPLEX							
010-319-16-5-22-10	Natural Gas/Electric Service	961.86	448.20	37,231.33	40,000.00	2,768.67	93.08
010-319-16-5-22-20	Sewer/Water Services	0.00	0.00	0.00	2,200.00	2,200.00	0.00
010-319-16-5-23-10	Cleaning Services	0.00	0.00	3,604.00	2,280.00	(1,324.00)	158.07
010-319-16-5-35-10	Building Supplies	240.13	1,929.14	4,783.38	5,000.00	216.62	95.67
010-319-16-5-35-45	Bldg Maint/Repair Supplies	1,501.51	0.00	4,503.39	10,000.00	5,496.61	45.03
Total Dept 319-16 - DPW MUNICIPAL COMPLEX		2,703.50	2,377.34	50,122.10	59,480.00	9,357.90	84.27
Dept 319-33 - DPW MUNICIPAL COMPLEX							
010-319-33-5-10-10	Salaries/Wages	5,984.63	17,427.21	78,464.80	97,774.00	19,309.20	80.25
010-319-33-5-15-10	WI Retirement	400.96	1,132.11	5,095.82	6,404.00	1,308.18	79.57
010-319-33-5-15-15	FICA	428.87	1,238.26	5,593.15	7,480.00	1,886.85	74.77
010-319-33-5-15-20	Group Insurance	1,786.69	6,209.21	25,968.95	46,628.00	20,659.05	55.69
010-319-33-5-34-10	Fuel, Oil & Lubricants	6,829.32	4,736.08	40,833.77	55,000.00	14,166.23	74.24
010-319-33-5-34-30	Safety Supplies	0.00	4.29	644.06	2,500.00	1,855.94	25.76
010-319-33-5-34-35	Uniforms/Coveralls	0.00	0.00	0.00	1,000.00	1,000.00	0.00
010-319-33-5-35-20	Vehicle Repair/Maint Supplies	1,318.97	2,189.73	8,645.85	25,000.00	16,354.15	34.58
010-319-33-5-35-30	Tools & Supplies	1,247.99	523.32	4,042.80	5,000.00	957.20	80.86
010-319-33-5-35-40	Equip Repair/Maint Supplies	0.00	366.24	9,701.53	15,000.00	5,298.47	64.68
Total Dept 319-33 - DPW MUNICIPAL COMPLEX		17,997.43	33,826.45	178,990.73	261,786.00	82,795.27	68.37
Dept 320-36 - DPW REFUSE							
010-320-36-5-10-10	Salaries/Wages	2,007.31	1,323.79	21,383.22	18,560.00	(2,823.22)	115.21
010-320-36-5-15-10	WI Retirement	134.48	77.32	1,178.54	1,216.00	37.46	96.92
010-320-36-5-15-15	FICA	146.10	96.10	1,561.63	1,420.00	(141.63)	109.97

010-320-36-5-15-20	Group Insurance	398.98	408.72	6,520.88	5,829.00	(691.88)	111.87
010-320-36-5-29-10	Refuse Collection	24,786.74	29,339.83	287,195.53	375,000.00	87,804.47	76.59
Total Dept 320-36 - DPW REFUSE		27,473.61	31,245.76	317,839.80	402,025.00	84,185.20	79.06
Dept 360-31 - COMMUNITY DEVELOPMENT							
010-360-31-5-10-10	Salaries/Wages	15,488.60	16,077.42	166,121.22	205,191.00	39,069.78	80.96
010-360-31-5-11-15	Building Board	100.00	25.00	300.00	1,200.00	900.00	25.00
010-360-31-5-15-10	WI Retirement	1,043.51	1,058.74	10,937.56	13,440.00	2,502.44	81.38
010-360-31-5-15-15	FICA	1,138.89	1,160.61	12,039.90	15,790.00	3,750.10	76.25
010-360-31-5-15-20	Group Insurance	3,812.44	4,716.27	47,333.46	62,099.00	14,765.54	76.22
010-360-31-5-20-20	Professional Services	275.00	0.00	9,860.20	9,425.00	(435.20)	104.62
010-360-31-5-26-50	State Inspections	0.00	0.00	3,200.00	3,200.00	0.00	100.00
010-360-31-5-30-10	Office Supplies, Equip & Exp	158.59	168.81	2,150.67	2,500.00	349.33	86.03
010-360-31-5-35-20	Vehicle Repair/Maint Supplies	0.00	0.00	34.06	250.00	215.94	13.62
010-360-31-5-45-10	Professional Memberships	50.00	0.00	459.00	435.00	(24.00)	105.52
010-360-31-5-45-20	Professional Publications	543.61	0.00	0.00	0.00	0.00	0.00
010-360-31-5-45-30	Professional Training	221.49	400.05	400.05	2,800.00	2,399.95	14.29
010-360-31-5-45-40	Mileage Reimbursement	90.47	291.16	291.16	200.00	(91.16)	145.58
Total Dept 360-31 - COMMUNITY DEVELOPMENT		22,922.60	23,898.06	253,127.28	316,530.00	63,402.72	79.97
Dept 361-16 - VILLAGE HALL							
010-361-16-5-10-10	Salaries/Wages	3,596.80	3,668.80	38,510.92	47,694.00	9,183.08	80.75
010-361-16-5-12-20	Uniform Allowance	0.00	0.00	0.00	200.00	200.00	0.00
010-361-16-5-15-10	WI Retirement	242.62	241.90	2,538.40	3,124.00	585.60	81.25
010-361-16-5-15-15	FICA	269.85	274.34	2,888.29	3,649.00	760.71	79.15
010-361-16-5-15-20	Group Insurance	561.08	637.90	6,379.00	8,082.00	1,703.00	78.93
010-361-16-5-22-10	Electric/Natural Gas	8,996.48	8,489.84	88,374.29	100,000.00	11,625.71	88.37
010-361-16-5-22-20	Water and Sewer	0.00	0.00	688.91	2,750.00	2,061.09	25.05
010-361-16-5-23-10	Cleaning Services	128.10	0.00	582.97	1,000.00	417.03	58.30
010-361-16-5-23-15	Building Maint/Repairs	2,221.53	2,003.57	15,051.97	15,000.00	(51.97)	100.35
010-361-16-5-35-10	Building Supplies	0.00	0.00	6,414.84	7,000.00	585.16	91.64
010-361-16-5-45-30	Professional Training	0.00	0.00	1,100.00	1,000.00	(100.00)	110.00
010-361-16-5-80-10	New/Replace Equipment	24.78	0.00	166.17	8,000.00	7,833.83	2.08
Total Dept 361-16 - VILLAGE HALL		16,041.24	15,316.35	162,695.76	197,499.00	34,803.24	82.38
Dept 530-53 - PARK & RECREATION							
010-530-53-5-10-10	Salaries/Wages	11,179.82	11,538.60	120,627.78	148,056.00	27,428.22	81.47
010-530-53-5-15-10	WI Retirement	753.16	759.77	7,940.98	9,697.00	1,756.02	81.89
010-530-53-5-15-15	FICA	827.62	841.34	8,896.00	11,327.00	2,431.00	78.54
010-530-53-5-15-20	Group Insurance	2,282.69	3,397.93	29,338.35	58,323.00	28,984.65	50.30
010-530-53-5-30-10	Office Supplies, Equip & Exp	0.00	16.37	445.32	950.00	504.68	46.88
010-530-53-5-34-10	Fuel, Oil & Lubricants	0.00	0.00	0.00	500.00	500.00	0.00

010-530-53-5-35-20	Vehicle Repair/Maint Supplies	0.00	0.00	0.00	200.00	200.00	0.00
010-530-53-5-45-10	Professional Memberships	0.00	0.00	357.30	400.00	42.70	89.33
010-530-53-5-45-30	Professional Training	325.00	325.00	847.36	2,000.00	1,152.64	42.37
010-530-53-5-45-40	Mileage Reimbursement	0.00	0.00	1,201.99	2,000.00	798.01	60.10
Total Dept 530-53 - PARK & RECREATION		15,368.29	16,879.01	169,655.08	233,453.00	63,797.92	72.67
TOTAL EXPENDITURES		695,985.60	1,190,268.76	8,620,012.80	10,246,427.00	1,626,414.20	84.13
Fund 010 - GENERAL FUND:							
TOTAL REVENUES		1,085,719.66	128,959.19	8,919,498.35	10,246,427.00	1,326,928.65	87.05
TOTAL EXPENDITURES		695,985.60	1,190,268.76	8,620,012.80	10,246,427.00	1,626,414.20	84.13
NET OF REVENUES & EXPENDITURES		389,734.06	(1,061,309.57)	299,485.55	0.00	(299,485.55)	100.00
BEG. FUND BALANCE				7,027,556.59	7,027,556.59		
END FUND BALANCE				7,327,042.14	7,027,556.59		

12/02/2019

REVENUE AND EXPENDITURE REPORT FOR VILLAGE OF BROWN DEER
 PERIOD ENDING 10/31/2019
 % Fiscal Year Completed: 83.29

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 10/31/18 INCR (DECR)	ACTIVITY FOR MONTH 10/31/19 INCR (DECR)	YTD BALANCE 10/31/2019 NORM (ABNORM)	2019 AMENDED BUDGET	AVAILABLE BALANCE NORM (ABNORM)	% BDGT USED
Fund 135 - Recycling Fund							
Revenues							
135-000-35-4-40-10	Recycling Grant	0.00	0.00	43,680.27	30,000.00	(13,680.27)	145.60
135-000-64-4-20-10	Recycling Charges	0.00	0.00	301,214.00	332,560.00	31,346.00	90.57
135-000-64-4-20-20	Sale of Materials	135.49	(459.98)	(179.20)	5,000.00	5,179.20	(3.58)
135-000-81-4-00-10	Investment Interest	1,178.75	0.00	5,936.03	0.00	(5,936.03)	100.00
135-000-82-4-00-50	Miscellaneous Revenue	0.00	0.00	2,075.00	2,500.00	425.00	83.00
TOTAL REVENUES		1,314.24	(459.98)	352,726.10	370,060.00	17,333.90	95.32
Expenditures							
135-320-36-5-10-10	Salaries/Wages	3,379.80	4,880.38	37,761.49	47,380.00	9,618.51	79.70
135-320-36-5-15-10	WI Retirement	170.20	263.22	1,944.51	6,438.00	4,493.49	30.20
135-320-36-5-15-15	FICA	251.60	358.87	2,812.29	3,625.00	812.71	77.58
135-320-36-5-15-20	Group Insurance	512.09	983.64	5,495.49	10,867.00	5,371.51	50.57
135-320-36-5-20-40	Public Notices/Advertising	0.00	0.00	0.00	500.00	500.00	0.00
135-320-36-5-22-10	Utilities	0.00	0.00	0.00	100.00	100.00	0.00
135-320-36-5-26-75	Admin Charges	32,810.00	0.00	0.00	25,000.00	25,000.00	0.00
135-320-36-5-29-15	Yard Waste Collection	16,651.42	10,322.00	51,504.80	100,000.00	48,495.20	51.50
135-320-36-5-29-20	Recycling Services	14,895.10	14,906.63	110,631.61	150,000.00	39,368.39	73.75
135-320-36-5-29-30	Landfill Fees	0.00	0.00	0.00	500.00	500.00	0.00
135-320-36-5-29-50	Equipment Rental	0.00	4,550.00	10,037.50	10,000.00	(37.50)	100.38
135-320-36-5-30-10	Office Supplies	0.00	0.00	0.00	200.00	200.00	0.00
135-320-36-5-35-45	Repair & Maintenance Supplies	0.00	0.00	0.00	1,000.00	1,000.00	0.00
135-320-36-5-37-10	Operating Supplies	0.00	0.00	0.00	500.00	500.00	0.00
135-320-36-5-45-10	Subscriptions & Dues	0.00	0.00	304.50	1,000.00	695.50	30.45
135-320-36-5-45-20	Publications/Education	0.00	0.00	0.00	3,000.00	3,000.00	0.00
135-320-36-5-45-30	Professional Training	0.00	0.00	0.00	500.00	500.00	0.00
135-320-36-5-50-90	Container Replacement	0.00	0.00	1,406.00	6,000.00	4,594.00	23.43
TOTAL EXPENDITURES		68,670.21	36,264.74	221,898.19	366,610.00	144,711.81	60.53
Fund 135 - Recycling Fund:							
TOTAL REVENUES		1,314.24	(459.98)	352,726.10	370,060.00	17,333.90	95.32

TOTAL EXPENDITURES	68,670.21	36,264.74	221,898.19	366,610.00	144,711.81	60.53
NET OF REVENUES & EXPENDITURES	(67,355.97)	(36,724.72)	130,827.91	3,450.00	(127,377.91)	3,792.11
BEG. FUND BALANCE			662,828.64	662,828.64		
END FUND BALANCE			793,656.55	666,278.64		

Fund 140 - North Shore Health Dept

Revenues

140-000-49-4-20-30	Permits	1,422.00	2,128.00	157,080.00	150,000.00	(7,080.00)	104.72
140-000-65-4-10-13	Clinic Fees	4,703.68	1,963.00	18,420.28	16,000.00	(2,420.28)	115.13
140-000-73-4-50-10	Bayside Contribution	6,924.25	7,020.75	28,083.00	28,083.00	0.00	100.00
140-000-73-4-50-20	Brown Deer Contribution	33,251.25	32,574.25	130,297.00	130,297.00	0.00	100.00
140-000-73-4-50-30	Fox Point Contribution	7,184.25	8,110.25	32,441.00	32,441.00	0.00	100.00
140-000-73-4-50-40	Glendale Contribution	17,039.25	18,478.00	73,912.00	73,912.00	0.00	100.00
140-000-73-4-50-50	River Hills Contribution	2,434.25	2,532.00	10,128.00	10,128.00	0.00	100.00
140-000-73-4-50-70	Shorewood contribution	33,901.00	33,104.00	132,416.00	132,416.00	0.00	100.00
140-000-73-4-50-80	Whitefish Bay contribution	17,429.00	18,711.25	74,845.00	74,845.00	0.00	100.00
140-000-73-4-50-85	TB Dispensary	0.00	100.00	948.63	0.00	(948.63)	100.00
140-000-73-4-50-90	TB Dispensary Medicaid	0.00	0.00	1,328.93	0.00	(1,328.93)	100.00
140-000-74-4-10-10	Interdepartmental Grant Fund	0.00	0.00	9,202.00	12,224.00	3,022.00	75.28
140-000-81-4-00-10	Investment Interest	538.88	0.00	1,760.26	0.00	(1,760.26)	100.00
140-000-82-4-00-50	Miscellaneous Revenue	0.00	0.00	95.10	0.00	(95.10)	100.00
140-000-85-4-40-10	Donations - NSHD	30.00	90.00	620.00	0.00	(620.00)	100.00
140-430-41-4-20-70	Other Intergovt'l Revenue	0.00	0.00	3,834.49	0.00	(3,834.49)	100.00
TOTAL REVENUES		124,857.81	124,811.50	675,411.69	660,346.00	(15,065.69)	102.28

Expenditures

140-410-41-5-10-10	Salaries/Wages	24,519.56	23,719.63	239,641.11	299,556.00	59,914.89	80.00
140-410-41-5-15-10	WI Retirement	1,634.68	1,406.27	14,875.20	19,371.00	4,495.80	76.79
140-410-41-5-15-15	FICA	1,864.60	1,569.25	16,720.71	22,625.00	5,904.29	73.90
140-410-41-5-15-20	Group Insurance	1,601.84	2,202.50	21,235.70	57,374.00	36,138.30	37.01
140-410-41-5-15-25	Worker Compensation Ins	0.00	0.00	0.00	17,364.00	17,364.00	0.00
140-410-41-5-20-20	Professional Services	1,200.00	0.00	7,005.00	0.00	(7,005.00)	100.00
140-410-41-5-20-40	Printing Services	0.00	0.00	854.50	1,700.00	845.50	50.26
140-410-41-5-20-50	Medical Disposal Services	0.00	0.00	0.00	800.00	800.00	0.00
140-410-41-5-20-60	TB Contracted Health Expenses	0.00	85.71	1,347.85	1,000.00	(347.85)	134.79
140-410-41-5-30-10	Office Supplies, Equip & Exp	0.00	0.00	424.93	2,610.00	2,185.07	16.28
140-410-41-5-34-55	Clinical Supplies	2,157.53	5,653.42	14,921.82	12,000.00	(2,921.82)	124.35
140-410-41-5-35-40	Equip Repair/Maint Supplies	362.39	187.36	1,618.70	3,429.00	1,810.30	47.21
140-410-41-5-45-10	Professional Memberships	200.00	0.00	852.00	1,000.00	148.00	85.20
140-410-41-5-45-20	Professional Publications	0.00	0.00	396.77	390.00	(6.77)	101.74

140-410-41-5-45-30	Professional Training	50.00	0.00	3,501.09	1,500.00	(2,001.09)	233.41
140-410-41-5-45-40	Mileage Reimbursement	346.63	185.02	3,617.50	4,127.00	509.50	87.65
140-410-41-5-53-20	Rent Expense	0.00	15,800.00	15,800.00	16,500.00	700.00	95.76
140-410-41-5-53-30	Administrative Charges	52,665.00	0.00	0.00	48,000.00	48,000.00	0.00
140-410-41-5-53-40	Beach Water Testing	0.00	0.00	0.00	1,000.00	1,000.00	0.00
140-411-41-5-10-10	Salaries/Wages	5,172.96	5,402.30	57,813.56	75,705.00	17,891.44	76.37
140-411-41-5-15-10	WI Retirement	348.88	356.08	3,809.08	4,958.00	1,148.92	76.83
140-411-41-5-15-15	FICA	368.76	374.91	3,991.55	5,792.00	1,800.45	68.91
140-411-41-5-15-20	Group Insurance	53.87	195.77	2,364.24	5,179.00	2,814.76	45.65
140-411-41-5-20-20	CONTRACTED SERVICES	0.00	0.00	16,675.60	37,662.00	20,986.40	44.28
140-411-41-5-30-10	Environmental Health Supplies	527.90	118.50	2,807.39	5,138.00	2,330.61	54.64
140-411-41-5-39-25	License fee to State	0.00	0.00	9,958.00	11,198.00	1,240.00	88.93
140-411-41-5-45-10	Professional Memberships	0.00	0.00	0.00	1,368.00	1,368.00	0.00
140-411-41-5-45-30	Professional Training	0.00	1,021.58	1,477.86	3,000.00	1,522.14	49.26
140-430-41-5-10-10	Salaries/Wages	0.00	0.00	767.41	0.00	(767.41)	100.00
140-430-41-5-15-10	WI Retirement	0.00	0.00	219.39	0.00	(219.39)	100.00
140-430-41-5-15-15	FICA	0.00	0.00	256.19	0.00	(256.19)	100.00
140-430-41-5-15-20	Group Insurance	0.00	0.00	9.74	0.00	(9.74)	100.00
140-430-41-5-39-70	ON CALL FOR OTHER AGENCY	0.00	0.00	2,581.76	0.00	(2,581.76)	100.00
TOTAL EXPENDITURES		93,074.60	58,278.30	445,544.65	660,346.00	214,801.35	67.47

Fund 140 - North Shore Health Dept:

TOTAL REVENUES		124,857.81	124,811.50	675,411.69	660,346.00	(15,065.69)	102.28
TOTAL EXPENDITURES		93,074.60	58,278.30	445,544.65	660,346.00	214,801.35	67.47
NET OF REVENUES & EXPENDITURES		31,783.21	66,533.20	229,867.04	0.00	(229,867.04)	100.00
BEG. FUND BALANCE				290,094.57	290,094.57		
END FUND BALANCE				519,961.61	290,094.57		

Fund 141 - NSHD Grant Fund

Revenues

141-000-35-4-50-10	MCH-Maternal/Child Health	1,986.00	0.00	5,957.00	14,119.00	8,162.00	42.19
141-000-35-4-50-15	Immunization Grant	1,075.00	0.00	2,742.00	12,769.00	10,027.00	21.47
141-000-35-4-50-20	Prevention Grant	0.00	0.00	3,663.00	6,036.00	2,373.00	60.69
141-000-35-4-50-45	Public Health Preparedness	4,161.00	0.00	75,895.00	85,889.00	9,994.00	88.36
141-000-35-4-50-47	CRI NSHD	0.00	0.00	10,510.00	16,135.00	5,625.00	65.14
141-000-35-4-50-49	Lead	136.00	0.00	1,272.00	3,332.00	2,060.00	38.18
141-000-35-4-50-70	Beach Water Grant	4,000.00	0.00	4,000.00	4,000.00	0.00	100.00
141-000-35-4-50-83	WIHA - STEPPING ON	0.00	0.00	2,000.00	0.00	(2,000.00)	100.00
141-000-35-4-50-84	COMMUNICABLE DISEASE	0.00	0.00	5,400.00	5,400.00	0.00	100.00
141-000-35-4-50-86	PUBLIC HEALTH CRISIS OPIOID	0.00	0.00	7,693.00	0.00	(7,693.00)	100.00
TOTAL REVENUES		11,358.00	0.00	119,132.00	147,680.00	28,548.00	80.67

Expenditures

141-421-41-5-10-10	Salaries/Wages	986.43	946.87	6,813.34	9,287.00	2,473.66	73.36
141-421-41-5-15-10	WI Retirement	66.09	62.03	446.31	608.00	161.69	73.41
141-421-41-5-15-15	FICA	73.67	70.86	509.67	711.00	201.33	71.68
141-421-41-5-15-20	Group Insurance	107.88	100.32	732.34	1,043.00	310.66	70.21
141-421-41-5-39-70	Program Supplies & Expenses	392.70	5.80	923.12	1,059.00	135.88	87.17
141-421-41-5-53-30	Administrative Charges	0.00	0.00	0.00	1,412.00	1,412.00	0.00
141-422-41-5-10-10	Salaries/Wages	905.35	3,420.95	6,931.97	7,174.00	242.03	96.63
141-422-41-5-15-10	WI Retirement	60.66	224.07	453.97	470.00	16.03	96.59
141-422-41-5-15-15	FICA	68.83	260.03	526.41	549.00	22.59	95.89
141-422-41-5-15-20	Group Insurance	29.93	60.61	207.70	2,207.00	1,999.30	9.41
141-422-41-5-39-70	Program Supplies & Expenses	10.92	170.27	170.27	1,092.00	921.73	15.59
141-422-41-5-53-30	ADMINISTRATIVE CHARGES	0.00	0.00	0.00	1,277.00	1,277.00	0.00
141-423-41-5-10-10	Salaries/Wages	0.00	0.00	2,873.26	0.00	(2,873.26)	100.00
141-423-41-5-15-10	WI Retirement	0.00	0.00	146.67	0.00	(146.67)	100.00
141-423-41-5-15-15	FICA	0.00	0.00	171.30	0.00	(171.30)	100.00
141-423-41-5-15-20	Group Insurance	0.00	0.00	6.41	0.00	(6.41)	100.00
141-423-41-5-39-70	Program Supplies & Expenses	0.00	0.00	3,819.52	6,036.00	2,216.48	63.28
141-442-41-5-10-10	Salaries/Wages	2,527.48	2,446.07	41,729.61	51,688.00	9,958.39	80.73
141-442-41-5-15-10	WI Retirement	201.49	182.48	3,127.21	3,385.00	257.79	92.38
141-442-41-5-15-15	FICA	224.51	212.64	3,645.03	3,954.00	308.97	92.19
141-442-41-5-15-20	Group Insurance	96.98	39.77	594.75	2,040.00	1,445.25	29.15
141-442-41-5-39-70	Program Supplies & Expenses	680.79	381.18	33,347.40	17,232.00	(16,115.40)	193.52
141-442-41-5-53-30	Administrative Charges	0.00	0.00	7,589.00	7,589.00	0.00	100.00
141-448-41-5-10-10	Salaries/Wages	0.00	0.00	62.94	0.00	(62.94)	100.00
141-448-41-5-15-10	WI Retirement	0.00	0.00	4.12	0.00	(4.12)	100.00
141-448-41-5-15-15	FICA	0.00	0.00	4.69	0.00	(4.69)	100.00
141-448-41-5-15-20	Group Insurance	0.00	0.00	7.67	0.00	(7.67)	100.00
141-448-41-5-39-70	Program Supplies & Expenses	0.00	0.00	3,952.07	4,000.00	47.93	98.80
141-450-41-5-10-10	Salaries & Wages	639.58	460.12	9,960.00	9,447.00	(513.00)	105.43
141-450-41-5-15-10	WRS	42.83	30.14	601.05	619.00	17.95	97.10
141-450-41-5-15-15	FICA	47.85	35.08	699.69	723.00	23.31	96.78
141-450-41-5-15-20	Group Insurance	18.01	8.58	177.59	464.00	286.41	38.27
141-450-41-5-39-70	Program Supplies & Expenses	0.00	816.00	1,159.94	3,269.00	2,109.06	35.48
141-450-41-5-53-30	Administrative Charges	0.00	0.00	1,613.00	1,613.00	0.00	100.00
141-452-41-5-10-10	Salaries & Wages	77.15	125.88	1,895.75	2,047.00	151.25	92.61
141-452-41-5-15-10	WRS	5.17	8.24	124.17	134.00	9.83	92.66
141-452-41-5-15-15	FICA	5.77	9.39	142.61	156.00	13.39	91.42
141-452-41-5-15-20	Group Insurance	8.33	14.93	155.58	435.00	279.42	35.77
141-452-41-5-39-70	Program Supplies & Expenses	19.34	0.00	419.66	227.00	(192.66)	184.87

141-452-41-5-53-30	Administrative Charges	0.00	0.00	0.00	333.00	333.00	0.00
141-459-41-5-10-10	Salaries/Wages	0.00	1,145.16	14,013.63	0.00	(14,013.63)	100.00
141-459-41-5-15-10	WI Retirement	0.00	51.43	462.71	0.00	(462.71)	100.00
141-459-41-5-15-15	FICA	0.00	87.49	1,069.70	0.00	(1,069.70)	100.00
141-459-41-5-15-20	Group Insurance	0.00	10.17	167.59	0.00	(167.59)	100.00
141-459-41-5-39-70	Program Supplies & Expenses	0.00	67.86	1,118.40	0.00	(1,118.40)	100.00
141-463-41-5-10-10	Salaries/Wages	185.16	(1,609.47)	1,049.76	0.00	(1,049.76)	100.00
141-463-41-5-15-10	WI Retirement	12.40	34.03	208.26	0.00	(208.26)	100.00
141-463-41-5-15-15	FICA	13.85	38.75	237.84	0.00	(237.84)	100.00
141-463-41-5-15-20	Group Insurance	19.98	61.53	359.37	0.00	(359.37)	100.00
141-463-41-5-39-70	Program Supplies & Expenses	13.86	1,707.83	1,933.77	0.00	(1,933.77)	100.00
141-463-41-5-45-40	Mileage Reimbursement	0.00	0.00	567.99	0.00	(567.99)	100.00
141-464-41-5-10-10	Salaries/Wages	0.00	0.00	2,642.21	3,023.00	380.79	87.40
141-464-41-5-15-10	WI Retirement	0.00	0.00	818.34	198.00	(620.34)	413.30
141-464-41-5-15-15	FICA	0.00	0.00	938.43	231.00	(707.43)	406.25
141-464-41-5-15-20	Group Insurance	0.00	0.00	894.45	419.00	(475.45)	213.47
141-464-41-5-39-70	Program Supplies & Expenses	0.00	0.00	106.72	1,529.00	1,422.28	6.98
TOTAL EXPENDITURES		7,542.99	11,687.09	162,334.96	147,680.00	(14,654.96)	109.92

Fund 141 - NSHD Grant Fund:

TOTAL REVENUES		11,358.00	0.00	119,132.00	147,680.00	28,548.00	80.67
TOTAL EXPENDITURES		7,542.99	11,687.09	162,334.96	147,680.00	(14,654.96)	109.92
NET OF REVENUES & EXPENDITURES		3,815.01	(11,687.09)	(43,202.96)	0.00	43,202.96	100.00
BEG. FUND BALANCE				(9,208.70)	(9,208.70)		
END FUND BALANCE				(52,411.66)	(9,208.70)		

Fund 151 - Library Fund

Revenues

151-000-11-4-00-10	General Property Taxes	0.00	0.00	385,345.99	385,346.00	0.01	100.00
151-000-67-4-10-10	Photocopies	634.44	435.60	4,693.12	8,000.00	3,306.88	58.66
151-000-67-4-10-20	Library-Fines	1,555.26	653.13	7,463.51	10,000.00	2,536.49	74.64
151-000-67-4-10-30	Sale of Materials	166.64	219.71	1,648.38	1,500.00	(148.38)	109.89
151-000-67-4-10-40	Lost Material Charges	11.00	75.00	475.55	1,250.00	774.45	38.04
151-000-67-4-10-45	LOST MATERIAL DUE OTHERS	0.00	24.95	57.90	0.00	(57.90)	100.00
151-000-67-4-10-90	Miscellaneous Charges	251.00	243.60	2,096.83	1,750.00	(346.83)	119.82
151-000-73-4-60-10	MCFLS-Reciprocal Borrowing	0.00	0.00	86,514.69	84,988.00	(1,526.69)	101.80
151-000-81-4-00-10	Investment Interest	312.77	0.00	3,079.25	0.00	(3,079.25)	100.00
151-000-82-4-00-10	Rent Income	11,955.45	8,330.31	89,653.38	100,000.00	10,346.62	89.65
151-000-85-4-50-10	Donations - Library	3,065.66	35.46	10,442.85	9,000.00	(1,442.85)	116.03
TOTAL REVENUES		17,952.22	10,017.76	591,471.45	601,834.00	10,362.55	98.28

Expenditures							
151-510-51-5-10-10	Salaries/Wages	21,490.83	23,162.09	233,686.04	311,110.00	77,423.96	75.11
151-510-51-5-15-10	WI Retirement	980.19	1,031.68	10,196.55	18,640.00	8,443.45	54.70
151-510-51-5-15-15	FICA	1,628.08	1,750.83	17,682.32	23,798.00	6,115.68	74.30
151-510-51-5-15-20	Group Insurance	2,130.46	2,596.70	25,968.30	34,634.00	8,665.70	74.98
151-510-51-5-15-25	Workers Comp Insurance	0.00	0.00	0.00	800.00	800.00	0.00
151-510-51-5-20-35	Technical Services	41.36	212.44	612.47	3,200.00	2,587.53	19.14
151-510-51-5-20-40	Printing Services	0.00	583.93	2,925.51	6,000.00	3,074.49	48.76
151-510-51-5-24-10	Equipment Maintenance Services	0.00	91.95	16,798.75	19,400.00	2,601.25	86.59
151-510-51-5-30-10	Office Supplies, Equip & Exp	614.16	348.94	3,823.08	3,000.00	(823.08)	127.44
151-510-51-5-30-15	Postage & Mailing	51.23	87.70	193.92	300.00	106.08	64.64
151-510-51-5-30-20	Communications	37.98	425.19	6,186.50	2,000.00	(4,186.50)	309.33
151-510-51-5-45-10	Professional Memberships	0.00	0.00	0.00	500.00	500.00	0.00
151-510-51-5-45-30	Professional Training	0.00	0.00	553.50	0.00	(553.50)	100.00
151-510-51-5-45-40	Mileage Reimbursement	0.00	0.00	61.71	250.00	188.29	24.68
151-511-51-5-35-40	Collect Repair/Maint/Suppl	608.11	168.47	2,824.03	5,000.00	2,175.97	56.48
151-511-51-5-38-10	Periodicals	251.12	3,155.75	3,155.75	6,900.00	3,744.25	45.74
151-511-51-5-38-15	Books	1,388.33	239.43	34,321.63	38,000.00	3,678.37	90.32
151-511-51-5-38-20	Audio/Visual	724.32	763.39	8,038.12	11,600.00	3,561.88	69.29
151-511-51-5-38-30	Donation Expenditures	119.64	1,016.13	4,471.39	4,000.00	(471.39)	111.78
151-511-51-5-38-40	Library Programming	277.10	23.99	3,691.12	4,000.00	308.88	92.28
151-512-51-5-22-10	Natural Gas/Electric Service	1,353.60	3,510.00	43,445.47	60,000.00	16,554.53	72.41
151-512-51-5-22-20	Sewer/Water Services	0.00	0.00	669.09	850.00	180.91	78.72
151-512-51-5-23-10	Cleaning Services	3,120.00	3,978.51	22,804.60	12,000.00	(10,804.60)	190.04
151-512-51-5-23-15	Building Maint/Repair Services	129.41	421.06	20,460.19	4,000.00	(16,460.19)	511.50
151-512-51-5-35-10	Building Supplies	724.54	179.51	1,169.19	1,500.00	330.81	77.95
TOTAL EXPENDITURES		35,670.46	43,747.69	463,739.23	571,482.00	107,742.77	81.15

Fund 151 - Library Fund:

TOTAL REVENUES		17,952.22	10,017.76	591,471.45	601,834.00	10,362.55	98.28
TOTAL EXPENDITURES		35,670.46	43,747.69	463,739.23	571,482.00	107,742.77	81.15
NET OF REVENUES & EXPENDITURES		(17,718.24)	(33,729.93)	127,732.22	30,352.00	(97,380.22)	420.84
BEG. FUND BALANCE				160,226.62	160,226.62		
END FUND BALANCE				287,958.84	190,578.62		

Fund 152 - Village Park & Pond Fund

Revenues

152-000-11-4-00-10	General Property Taxes	0.00	0.00	0.00	47,500.00	47,500.00	0.00
152-000-67-4-20-10	Fairy Chasm Park Permits	0.00	0.00	0.00	1,500.00	1,500.00	0.00
152-000-67-4-20-20	Village Park Permits	0.00	0.00	0.00	5,000.00	5,000.00	0.00

152-000-67-4-20-50	Other Charges	0.00	0.00	0.00	500.00	500.00	0.00
152-000-67-4-34-10	Pond Admissions	0.00	90.00	90.00	15,700.00	15,610.00	0.57
152-000-67-4-34-20	Pond Memberships	0.00	0.00	0.00	2,000.00	2,000.00	0.00
152-000-67-4-34-30	Concession Sales	0.00	0.00	0.00	6,000.00	6,000.00	0.00
152-000-81-4-00-10	Investment Interest	25.76	0.00	0.00	300.00	300.00	0.00
TOTAL REVENUES		25.76	90.00	90.00	78,500.00	78,410.00	0.11

Expenditures							
152-520-52-5-11-25	Program Salaries-Park & Pond	0.00	0.00	0.00	34,000.00	34,000.00	0.00
152-520-52-5-15-15	FICA	0.00	0.00	0.00	2,601.00	2,601.00	0.00
152-520-52-5-22-10	Natural Gas/Electric Service	51.63	0.00	370.09	3,800.00	3,429.91	9.74
152-520-52-5-22-20	Sewer/Water Services	3,432.80	0.00	405.28	3,500.00	3,094.72	11.58
152-520-52-5-35-10	Building Supplies	0.00	0.00	0.00	600.00	600.00	0.00
152-520-52-5-35-40	Equip Repair/Maint Supplies	0.00	0.00	0.00	1,000.00	1,000.00	0.00
152-520-52-5-37-10	Operation Materials	111.33	0.00	4,884.44	21,000.00	16,115.56	23.26
152-520-52-5-39-70	Program Supplies & Expenses	0.00	0.00	0.00	3,000.00	3,000.00	0.00
152-520-52-5-80-10	New/Replace Equipment	0.00	0.00	0.00	1,500.00	1,500.00	0.00
152-521-52-5-11-25	Program Salaries-Fairy Chasm	144.00	0.00	0.00	5,000.00	5,000.00	0.00
152-521-52-5-15-15	FICA	11.01	0.00	0.00	383.00	383.00	0.00
152-521-52-5-22-10	Natural Gas/Electric Service	35.76	0.00	50.52	450.00	399.48	11.23
152-521-52-5-22-20	Sewer/Water Services	0.00	0.00	0.00	700.00	700.00	0.00
152-521-52-5-23-20	Turf Maintenance	0.00	0.00	0.00	3,145.00	3,145.00	0.00
152-521-52-5-35-40	Equip Repair/Maint Supplies	0.00	0.00	0.00	4,000.00	4,000.00	0.00
TOTAL EXPENDITURES		3,786.53	0.00	5,710.33	84,679.00	78,968.67	6.74

Fund 152 - Village Park & Pond Fund:

TOTAL REVENUES		25.76	90.00	90.00	78,500.00	78,410.00	0.11
TOTAL EXPENDITURES		3,786.53	0.00	5,710.33	84,679.00	78,968.67	6.74
NET OF REVENUES & EXPENDITURES		(3,760.77)	90.00	(5,620.33)	(6,179.00)	(558.67)	90.96
BEG. FUND BALANCE				12,934.32	12,934.32		
END FUND BALANCE				7,313.99	6,755.32		

Fund 153 - Recreation Program Fund

Revenues							
153-000-67-4-30-20	Adult Sport Leagues	548.00	600.00	2,178.00	3,050.00	872.00	71.41
153-000-67-4-30-25	Adult Instruction	1,697.00	2,264.00	19,562.00	24,641.00	5,079.00	79.39
153-000-67-4-30-30	Youth Instruction	0.00	43.00	35,318.35	43,189.00	7,870.65	81.78
153-000-67-4-30-35	Community Programs	0.00	0.00	0.00	2,350.00	2,350.00	0.00
153-000-67-4-30-40	Aquatic Program	468.00	282.00	8,350.25	13,000.00	4,649.75	64.23
153-000-67-4-30-45	Senior Programs	0.00	0.00	39.00	2,750.00	2,711.00	1.42

153-000-67-4-30-50	Other Program Charges	0.00	0.00	10.00	150.00	140.00	6.67
153-000-81-4-00-10	Investment Interest	90.99	0.00	425.91	300.00	(125.91)	141.97
153-000-82-4-00-30	Fund Raising Programs	0.00	0.00	3,066.75	3,118.00	51.25	98.36
153-000-85-4-53-10	Donations - Rec Programs	0.00	0.00	200.00	250.00	50.00	80.00
TOTAL REVENUES		2,803.99	3,189.00	69,150.26	92,798.00	23,647.74	74.52

Expenditures							
153-000-35-5-30-30	Service Fees	76.38	120.48	2,271.75	3,000.00	728.25	75.73
153-000-53-5-11-25	Program Salaries-Reg/Bldg Sup	72.00	60.00	1,419.01	2,750.00	1,330.99	51.60
153-000-53-5-15-15	FICA	5.52	4.59	108.56	268.00	159.44	40.51
153-000-53-5-30-40	Public Notices/Advertising	0.00	0.00	582.97	1,000.00	417.03	58.30
153-000-53-5-39-70	Fund Raising Supplies & Exp	0.00	0.00	3,089.50	2,710.00	(379.50)	114.00
153-000-53-5-39-75	Miscellaneous Supplies & Expen	0.00	0.00	223.00	500.00	277.00	44.60
153-541-53-5-11-25	Program Salaries-Adult Sport	0.00	0.00	1,652.00	2,500.00	848.00	66.08
153-541-53-5-15-15	FICA	0.00	0.00	126.38	191.00	64.62	66.17
153-541-53-5-39-70	Program Supplies & Expenses	0.00	0.00	57.75	750.00	692.25	7.70
153-542-53-5-11-25	Program Salaries-Adult Inst	1,288.25	648.50	11,459.15	16,792.00	5,332.85	68.24
153-542-53-5-15-15	FICA	98.56	49.63	876.64	1,252.00	375.36	70.02
153-542-53-5-39-70	Program Supplies & Expenses	0.00	0.00	2,129.44	285.00	(1,844.44)	747.17
153-543-53-5-11-25	Program Salaries-Youth Inst	0.00	0.00	21,519.91	24,702.00	3,182.09	87.12
153-543-53-5-15-15	FICA	0.00	0.00	1,646.27	2,415.00	768.73	68.17
153-543-53-5-39-70	Program Supplies & Expenses	480.00	360.00	11,628.99	7,725.00	(3,903.99)	150.54
153-545-53-5-11-25	Program Salaries-Aquatic	557.13	265.76	6,497.92	16,395.00	9,897.08	39.63
153-545-53-5-15-15	FICA	42.64	20.34	497.10	1,251.00	753.90	39.74
153-545-53-5-39-70	Program Supplies & Expenses	0.00	0.00	102.20	1,350.00	1,247.80	7.57
153-546-53-5-11-25	Program Salaries-Senior	0.00	0.00	0.00	3,608.00	3,608.00	0.00
153-546-53-5-15-15	FICA	0.00	0.00	0.00	275.00	275.00	0.00
153-546-53-5-39-70	Program Supplies & Expenses	0.00	0.00	39.00	2,100.00	2,061.00	1.86
TOTAL EXPENDITURES		2,620.48	1,529.30	65,927.54	91,819.00	25,891.46	71.80

Fund 153 - Recreation Program Fund:							
TOTAL REVENUES		2,803.99	3,189.00	69,150.26	92,798.00	23,647.74	74.52
TOTAL EXPENDITURES		2,620.48	1,529.30	65,927.54	91,819.00	25,891.46	71.80
NET OF REVENUES & EXPENDITURES		183.51	1,659.70	3,222.72	979.00	(2,243.72)	329.18
BEG. FUND BALANCE				60,013.69	60,013.69		
END FUND BALANCE				63,236.41	60,992.69		

Fund 154 - 4th of July Fund

Revenues							
154-000-67-4-41-10	4th of July Sales	0.00	0.00	5,807.25	8,500.00	2,692.75	68.32

154-000-67-4-41-20	Raffle Ticket Sales	0.00	0.00	2,260.00	2,400.00	140.00	94.17
154-000-67-4-41-30	Bingo Card Sales	0.00	0.00	1,526.50	1,500.00	(26.50)	101.77
154-000-81-4-00-10	Investment Interest	30.21	0.00	164.99	100.00	(64.99)	164.99
154-000-82-4-00-50	Miscellaneous Revenue	0.00	0.00	0.00	5,000.00	5,000.00	0.00
154-000-85-4-54-10	Donations - 4th of July	5,000.00	0.00	10,205.25	12,600.00	2,394.75	80.99
TOTAL REVENUES		5,030.21	0.00	19,963.99	30,100.00	10,136.01	66.33

Expenditures							
154-000-53-5-11-25	Program Salaries-4th of July	0.00	0.00	275.50	1,300.00	1,024.50	21.19
154-000-53-5-15-15	FICA	0.00	0.00	21.08	99.00	77.92	21.29
154-000-53-5-20-40	Printing Services	0.00	0.00	1,001.60	2,500.00	1,498.40	40.06
154-000-53-5-39-70	Program Supplies & Expenses	0.00	0.00	6,274.26	6,000.00	(274.26)	104.57
154-000-53-5-40-10	Fireworks	0.00	0.00	12,000.00	12,000.00	0.00	100.00
154-000-53-5-40-15	Parade & Awards	0.00	0.00	5,305.00	4,500.00	(805.00)	117.89
154-000-53-5-40-20	Entertainment	0.00	0.00	1,750.00	2,500.00	750.00	70.00
154-000-53-5-40-25	Raffle Supplies & Expenses	0.00	0.00	999.75	625.00	(374.75)	159.96
154-000-53-5-40-30	Bingo Supplies & Expenses	0.00	0.00	735.00	465.00	(270.00)	158.06
154-000-53-5-51-50	Insurance Expense	0.00	0.00	929.00	1,000.00	71.00	92.90
TOTAL EXPENDITURES		0.00	0.00	29,291.19	30,989.00	1,697.81	94.52

Fund 154 - 4th of July Fund:

TOTAL REVENUES		5,030.21	0.00	19,963.99	30,100.00	10,136.01	66.33
TOTAL EXPENDITURES		0.00	0.00	29,291.19	30,989.00	1,697.81	94.52
NET OF REVENUES & EXPENDITURES		5,030.21	0.00	(9,327.20)	(889.00)	8,438.20	1,049.18
BEG. FUND BALANCE				21,968.44	21,968.44		
END FUND BALANCE				12,641.24	21,079.44		

Fund 155 - Community Center Fund

Revenues							
155-000-35-4-70-20	CDBG-SENIOR PROGRAMING	0.00	0.00	0.00	16,000.00	16,000.00	0.00
155-000-67-4-20-40	Facility Rental Fees	4,012.20	0.00	0.00	26,260.00	26,260.00	0.00
TOTAL REVENUES		4,012.20	0.00	0.00	42,260.00	42,260.00	0.00

Expenditures							
155-546-53-5-11-25	Salaries & Wages	346.50	0.00	(125.13)	2,925.00	3,050.13	(4.28)
155-546-53-5-15-15	FICA	26.51	0.00	(9.57)	224.00	233.57	(4.27)
155-546-53-5-39-70	Program Supplies & Expenses	2,219.70	117.98	3,324.60	13,000.00	9,675.40	25.57
155-547-53-5-11-25	Salaries & Wages	269.51	0.00	(114.33)	3,900.00	4,014.33	(2.93)
155-547-53-5-15-15	FICA	20.62	0.00	(8.74)	298.00	306.74	(2.93)

155-547-53-5-39-70	Program Supplies & Expenses	615.21	50.56	927.30	6,000.00	5,072.70	15.46
155-547-53-5-39-75	Miscellaneous Supplies & Expen	(43.06)	0.00	0.00	2,000.00	2,000.00	0.00
TOTAL EXPENDITURES		3,454.99	168.54	3,994.13	28,347.00	24,352.87	14.09

Fund 155 - Community Center Fund:

TOTAL REVENUES		4,012.20	0.00	0.00	42,260.00	42,260.00	0.00
TOTAL EXPENDITURES		3,454.99	168.54	3,994.13	28,347.00	24,352.87	14.09
NET OF REVENUES & EXPENDITURES		557.21	(168.54)	(3,994.13)	13,913.00	17,907.13	28.71
BEG. FUND BALANCE				49,036.46	49,036.46		
END FUND BALANCE				45,042.33	62,949.46		

Fund 170 - BD Business Park Street Light Fund

Revenues

170-000-24-4-00-10	Street Lighting	0.00	0.00	4,906.58	7,000.00	2,093.42	70.09
170-000-81-4-00-10	Investment Interest	72.40	0.00	336.86	0.00	(336.86)	100.00
TOTAL REVENUES		72.40	0.00	5,243.44	7,000.00	1,756.56	74.91

Expenditures

170-000-34-5-22-10	Natural Gas/Electric Service	258.74	469.36	1,987.18	3,150.00	1,162.82	63.09
170-000-34-5-23-30	Street Lighting Maint Services	0.00	408.00	408.00	3,000.00	2,592.00	13.60
170-000-34-5-26-75	Administration Services	500.00	0.00	0.00	500.00	500.00	0.00
TOTAL EXPENDITURES		758.74	877.36	2,395.18	6,650.00	4,254.82	36.02

Fund 170 - BD Business Park Street Light Fund:

TOTAL REVENUES		72.40	0.00	5,243.44	7,000.00	1,756.56	74.91
TOTAL EXPENDITURES		758.74	877.36	2,395.18	6,650.00	4,254.82	36.02
NET OF REVENUES & EXPENDITURES		(686.34)	(877.36)	2,848.26	350.00	(2,498.26)	813.79
BEG. FUND BALANCE				54,795.44	54,795.44		
END FUND BALANCE				57,643.70	55,145.44		

Fund 171 - Kildeer Court Street Lighting Fund

Revenues

171-000-24-4-00-10	Street Lighting	0.00	0.00	3,079.57	4,000.00	920.43	76.99
171-000-81-4-00-10	Investment Interest	102.04	0.00	466.13	0.00	(466.13)	100.00
TOTAL REVENUES		102.04	0.00	3,545.70	4,000.00	454.30	88.64

Expenditures

171-000-34-5-22-10	Natural Gas/Electric Service	75.64	133.42	531.97	1,750.00	1,218.03	30.40
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171-000-34-5-23-30	Street Lighting Maint Services	0.00	463.00	463.00	1,000.00	537.00	46.30
171-000-34-5-26-75	Administration Services	500.00	0.00	0.00	500.00	500.00	0.00
TOTAL EXPENDITURES		575.64	596.42	994.97	3,250.00	2,255.03	30.61

Fund 171 - Kildeer Court Street Lighting Fund:

TOTAL REVENUES		102.04	0.00	3,545.70	4,000.00	454.30	88.64
TOTAL EXPENDITURES		575.64	596.42	994.97	3,250.00	2,255.03	30.61
NET OF REVENUES & EXPENDITURES		(473.60)	(596.42)	2,550.73	750.00	(1,800.73)	340.10
BEG. FUND BALANCE				74,140.77	74,140.77		
END FUND BALANCE				76,691.50	74,890.77		

Fund 172 - Opus North Street Lighting Fund

Revenues

172-000-24-4-00-10	Street Lighting	0.00	0.00	3,340.23	4,000.00	659.77	83.51
172-000-81-4-00-10	Investment Interest	51.87	0.00	242.41	0.00	(242.41)	100.00
TOTAL REVENUES		51.87	0.00	3,582.64	4,000.00	417.36	89.57

Expenditures

172-000-34-5-22-10	Natural Gas/Electric Service	140.46	268.31	1,059.34	1,500.00	440.66	70.62
172-000-34-5-23-30	Street Lighting Maint Services	0.00	463.00	463.00	1,300.00	837.00	35.62
172-000-34-5-26-75	Administration Services	500.00	0.00	0.00	500.00	500.00	0.00
TOTAL EXPENDITURES		640.46	731.31	1,522.34	3,300.00	1,777.66	46.13

Fund 172 - Opus North Street Lighting Fund:

TOTAL REVENUES		51.87	0.00	3,582.64	4,000.00	417.36	89.57
TOTAL EXPENDITURES		640.46	731.31	1,522.34	3,300.00	1,777.66	46.13
NET OF REVENUES & EXPENDITURES		(588.59)	(731.31)	2,060.30	700.00	(1,360.30)	294.33
BEG. FUND BALANCE				39,630.80	39,630.80		
END FUND BALANCE				41,691.10	40,330.80		

Fund 173 - Park Plaza Street Lighting Fund

Revenues

173-000-24-4-00-10	Street Lighting	0.00	0.00	21,853.83	20,000.00	(1,853.83)	109.27
173-000-81-4-00-10	Investment Interest	43.31	0.00	222.93	0.00	(222.93)	100.00
TOTAL REVENUES		43.31	0.00	22,076.76	20,000.00	(2,076.76)	110.38

Expenditures

173-000-34-5-22-10	Natural Gas/Electric Service	1,154.01	2,766.54	9,347.09	12,600.00	3,252.91	74.18
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173-000-34-5-23-30	Street Lighting Maint Services	0.00	1,449.00	2,551.06	4,000.00	1,448.94	63.78
173-000-34-5-26-75	Administration Services	500.00	0.00	0.00	500.00	500.00	0.00
TOTAL EXPENDITURES		1,654.01	4,215.54	11,898.15	17,100.00	5,201.85	69.58

Fund 173 - Park Plaza Street Lighting Fund:

TOTAL REVENUES		43.31	0.00	22,076.76	20,000.00	(2,076.76)	110.38
TOTAL EXPENDITURES		1,654.01	4,215.54	11,898.15	17,100.00	5,201.85	69.58
NET OF REVENUES & EXPENDITURES		(1,610.70)	(4,215.54)	10,178.61	2,900.00	(7,278.61)	350.99
BEG. FUND BALANCE				35,010.27	35,010.27		
END FUND BALANCE				45,188.88	37,910.27		

Fund 174 - North Arbon Drive Street Lighting Fund

Revenues

174-000-24-4-00-10	Street Lighting	0.00	0.00	4,418.60	4,200.00	(218.60)	105.20
174-000-81-4-00-10	Investment Interest	58.98	0.00	274.77	0.00	(274.77)	100.00
TOTAL REVENUES		58.98	0.00	4,693.37	4,200.00	(493.37)	111.75

Expenditures

174-000-34-5-22-10	Natural Gas/Electric Service	234.39	404.13	1,668.21	2,300.00	631.79	72.53
174-000-34-5-23-30	Street Lighting Maint Services	0.00	463.00	1,800.92	1,300.00	(500.92)	138.53
174-000-34-5-26-75	Administration Services	500.00	0.00	0.00	500.00	500.00	0.00
TOTAL EXPENDITURES		734.39	867.13	3,469.13	4,100.00	630.87	84.61

Fund 174 - North Arbon Drive Street Lighting Fund:

TOTAL REVENUES		58.98	0.00	4,693.37	4,200.00	(493.37)	111.75
TOTAL EXPENDITURES		734.39	867.13	3,469.13	4,100.00	630.87	84.61
NET OF REVENUES & EXPENDITURES		(675.41)	(867.13)	1,224.24	100.00	(1,124.24)	1,224.24
BEG. FUND BALANCE				44,091.12	44,091.12		
END FUND BALANCE				45,315.36	44,191.12		

Fund 175 - BD Corporate Park Street Lighting Fund

Revenues

175-000-24-4-00-10	Street Lighting	0.00	0.00	2,604.29	3,000.00	395.71	86.81
175-000-81-4-00-10	Investment Interest	27.40	0.00	132.55	0.00	(132.55)	100.00
TOTAL REVENUES		27.40	0.00	2,736.84	3,000.00	263.16	91.23

Expenditures

175-000-34-5-22-10	Natural Gas/Electric Service	93.09	186.33	714.54	1,000.00	285.46	71.45
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175-000-34-5-23-30	Street Lighting Maint Services	0.00	345.00	345.00	1,200.00	855.00	28.75
175-000-34-5-26-75	Administration Services	500.00	0.00	0.00	500.00	500.00	0.00
TOTAL EXPENDITURES		593.09	531.33	1,059.54	2,700.00	1,640.46	39.24

Fund 175 - BD Corporate Park Street Lighting Fund:

TOTAL REVENUES		27.40	0.00	2,736.84	3,000.00	263.16	91.23
TOTAL EXPENDITURES		593.09	531.33	1,059.54	2,700.00	1,640.46	39.24
NET OF REVENUES & EXPENDITURES		(565.69)	(531.33)	1,677.30	300.00	(1,377.30)	559.10
BEG. FUND BALANCE				21,535.88	21,535.88		
END FUND BALANCE				23,213.18	21,835.88		

Fund 180 - Strehlow Donation Fund

Revenues

180-000-81-4-00-10	INVESTMENT INTEREST	109.63	0.00	476.39	0.00	(476.39)	100.00
TOTAL REVENUES		109.63	0.00	476.39	0.00	(476.39)	100.00

Expenditures

180-000-51-5-39-11	Donation Expense Library	0.00	41.59	4,368.08	3,000.00	(1,368.08)	145.60
180-000-52-5-39-10	Donation Expense Park & Rec	0.00	0.00	290.00	3,000.00	2,710.00	9.67
TOTAL EXPENDITURES		0.00	41.59	4,658.08	6,000.00	1,341.92	77.63

Fund 180 - Strehlow Donation Fund:

TOTAL REVENUES		109.63	0.00	476.39	0.00	(476.39)	100.00
TOTAL EXPENDITURES		0.00	41.59	4,658.08	6,000.00	1,341.92	77.63
NET OF REVENUES & EXPENDITURES		109.63	(41.59)	(4,181.69)	(6,000.00)	(1,818.31)	69.69
BEG. FUND BALANCE				76,453.39	76,453.39		
END FUND BALANCE				72,271.70	70,453.39		

Fund 185 - BROWN DEER FARMERS MARKET

Revenues

185-000-65-4-20-50	Stall Rental Fee	0.00	150.00	8,430.00	8,000.00	(430.00)	105.38
185-000-81-4-00-10	INVESTMENT INTEREST	24.79	0.00	129.39	0.00	(129.39)	100.00
185-000-82-4-00-50	MISCELLANEOUS REVENUE	72.00	3,495.40	10,427.34	0.00	(10,427.34)	100.00
TOTAL REVENUES		96.79	3,645.40	18,986.73	8,000.00	(10,986.73)	237.33

Expenditures

185-000-41-5-11-25	PROGRAM SALARIES - FARMERS MARKET	511.50	735.50	7,635.75	3,000.00	(4,635.75)	254.53
185-000-41-5-15-10	WI Retirement	0.00	10.31	25.78	0.00	(25.78)	100.00

185-000-41-5-15-15	FICA	39.13	55.33	581.83	230.00	(351.83)	252.97
185-000-41-5-15-20	Group Insurance	0.00	87.61	218.62	0.00	(218.62)	100.00
185-000-41-5-30-10	Office Supplies, Equip & Exp	0.00	0.00	1,535.08	1,000.00	(535.08)	153.51
185-000-41-5-30-40	Advertising	493.07	844.00	5,955.47	2,000.00	(3,955.47)	297.77
185-000-41-5-39-70	Program Supplies & Expenses	10.10	0.00	1,688.93	1,000.00	(688.93)	168.89
TOTAL EXPENDITURES		1,053.80	1,732.75	17,641.46	7,230.00	(10,411.46)	244.00

Fund 185 - BROWN DEER FARMERS MARKET:

TOTAL REVENUES		96.79	3,645.40	18,986.73	8,000.00	(10,986.73)	237.33
TOTAL EXPENDITURES		1,053.80	1,732.75	17,641.46	7,230.00	(10,411.46)	244.00
NET OF REVENUES & EXPENDITURES		(957.01)	1,912.65	1,345.27	770.00	(575.27)	174.71
BEG. FUND BALANCE				17,393.32	17,393.32		
END FUND BALANCE				18,738.59	18,163.32		

Fund 186 - SPECIAL EVENT FUND

Revenues

186-000-65-4-20-50	Stall Rental Fee	0.00	0.00	680.00	1,000.00	320.00	68.00
186-000-81-4-00-10	INVESTMENT INTEREST	4.48	0.00	1.57	0.00	(1.57)	100.00
186-000-82-4-00-50	Miscellaneous Revenue	5,000.00	0.00	2,989.00	0.00	(2,989.00)	100.00
186-000-85-4-10-10	Donations - Vibes	5,000.00	0.00	1,000.00	8,000.00	7,000.00	12.50
186-000-85-4-20-10	Donations - Eat & Greet	7,700.00	0.00	2,130.00	10,500.00	8,370.00	20.29
TOTAL REVENUES		17,704.48	0.00	6,800.57	19,500.00	12,699.43	34.87

Expenditures

186-000-53-5-20-40	Printing Services - Vibes	0.00	0.00	268.47	400.00	131.53	67.12
186-000-53-5-30-40	Advertising - Vibes	0.00	0.00	369.00	2,000.00	1,631.00	18.45
186-000-53-5-39-70	Program Supplies & Expenses - Vibes	0.00	0.00	236.76	800.00	563.24	29.60
186-000-53-5-40-20	Entertainment - Vibes	0.00	0.00	3,050.00	6,000.00	2,950.00	50.83
186-000-54-5-30-40	Advertising - Eat & Greet	0.00	0.00	1,705.35	1,500.00	(205.35)	113.69
186-000-54-5-39-70	Program Supplies & Expenses - Eat & Gre	0.00	2,244.00	6,043.35	5,000.00	(1,043.35)	120.87
186-000-54-5-40-20	Entertainment - Eat & Greet	0.00	0.00	7,785.00	5,000.00	(2,785.00)	155.70
TOTAL EXPENDITURES		0.00	2,244.00	19,457.93	20,700.00	1,242.07	94.00

Fund 186 - SPECIAL EVENT FUND:

TOTAL REVENUES		17,704.48	0.00	6,800.57	19,500.00	12,699.43	34.87
TOTAL EXPENDITURES		0.00	2,244.00	19,457.93	20,700.00	1,242.07	94.00
NET OF REVENUES & EXPENDITURES		17,704.48	(2,244.00)	(12,657.36)	(1,200.00)	11,457.36	1,054.78
BEG. FUND BALANCE				1,510.61	1,510.61		
END FUND BALANCE				(11,146.75)	310.61		

Fund 187 - PUBLIC SAFETY

Revenues

187-000-81-4-00-10	INVESTMENT INTEREST	145.29	0.00	517.90	1,815.00	1,297.10	28.53
187-210-21-4-62-10	PUBLIC SAFETY	9,166.66	13,291.92	127,271.72	165,908.00	38,636.28	76.71
TOTAL REVENUES		9,311.95	13,291.92	127,789.62	167,723.00	39,933.38	76.19

Expenditures

187-210-21-5-10-10	Salaries/Wages	0.00	0.00	0.00	116,072.00	116,072.00	0.00
187-210-21-5-15-10	WI Retirement	0.00	0.00	0.00	12,440.00	12,440.00	0.00
187-210-21-5-15-15	FICA	0.00	0.00	0.00	8,880.00	8,880.00	0.00
187-210-21-5-15-20	Group Insurance	0.00	0.00	0.00	30,328.00	30,328.00	0.00
TOTAL EXPENDITURES		0.00	0.00	0.00	167,720.00	167,720.00	0.00

Fund 187 - PUBLIC SAFETY:

TOTAL REVENUES		9,311.95	13,291.92	127,789.62	167,723.00	39,933.38	76.19
TOTAL EXPENDITURES		0.00	0.00	0.00	167,720.00	167,720.00	0.00
NET OF REVENUES & EXPENDITURES		9,311.95	13,291.92	127,789.62	3.00	(127,786.62)	#####
BEG. FUND BALANCE				14,675.69	14,675.69		
END FUND BALANCE				142,465.31	14,678.69		

Fund 188 - MUNICIPAL COURT

Revenues

188-000-51-4-00-10	COURT FINES & PENALTIES	40,730.88	0.00	385,127.34	450,000.00	64,872.66	85.58
TOTAL REVENUES		40,730.88	0.00	385,127.34	450,000.00	64,872.66	85.58

Expenditures

188-120-12-5-10-10	Salaries/Wages	5,499.76	12,247.31	127,272.51	233,610.00	106,337.49	54.48
188-120-12-5-14-00	Overtime	205.92	306.95	2,358.67	1,500.00	(858.67)	157.24
188-120-12-5-15-10	WI Retirement	253.05	713.49	7,352.58	17,016.00	9,663.42	43.21
188-120-12-5-15-15	FICA	431.06	945.78	9,781.44	24,871.00	15,089.56	39.33
188-120-12-5-15-20	Group Insurance	558.70	1,236.42	12,364.20	28,068.00	15,703.80	44.05
188-120-12-5-20-20	Professional Services	6,421.66	0.00	6,523.04	10,000.00	3,476.96	65.23
188-120-12-5-26-25	Commitment Services	5,974.75	0.00	41,413.30	40,000.00	(1,413.30)	103.53
188-120-12-5-26-75	Administration Services	81,554.00	0.00	0.00	50,000.00	50,000.00	0.00
188-120-12-5-30-10	Office Supplies, Equip & Exp	257.68	0.00	0.00	1,500.00	1,500.00	0.00
188-120-12-5-30-30	Service Fees	0.00	0.00	5,786.00	6,000.00	214.00	96.43
188-120-12-5-39-15	Witness Fees	0.00	0.00	10.00	0.00	(10.00)	100.00
188-120-12-5-45-10	Professional Memberships	0.00	0.00	0.00	40.00	40.00	0.00

188-120-12-5-45-30	Professional Training	183.48	165.70	473.41	500.00	26.59	94.68
188-120-12-5-80-10	New/Replace Equipment	0.00	0.00	0.00	1,500.00	1,500.00	0.00
TOTAL EXPENDITURES		101,340.06	15,615.65	213,335.15	414,605.00	201,269.85	51.46

Fund 188 - MUNICIPAL COURT:

TOTAL REVENUES		40,730.88	0.00	385,127.34	450,000.00	64,872.66	85.58
TOTAL EXPENDITURES		101,340.06	15,615.65	213,335.15	414,605.00	201,269.85	51.46
NET OF REVENUES & EXPENDITURES		(60,609.18)	(15,615.65)	171,792.19	35,395.00	(136,397.19)	485.36
BEG. FUND BALANCE				501,467.44	501,467.44		
END FUND BALANCE				673,259.63	536,862.44		

Fund 189 - BROWN DEER TOURISM COMMISSION

Revenues

189-000-12-4-00-10	HOTEL TAX	0.00	0.00	0.00	10,000.00	10,000.00	0.00
TOTAL REVENUES		0.00	0.00	0.00	10,000.00	10,000.00	0.00

Expenditures

189-000-41-5-39-70	Program Supplies & Expenses	45,000.00	0.00	0.00	10,000.00	10,000.00	0.00
TOTAL EXPENDITURES		45,000.00	0.00	0.00	10,000.00	10,000.00	0.00

Fund 189 - BROWN DEER TOURISM COMMISSION:

TOTAL REVENUES		0.00	0.00	0.00	10,000.00	10,000.00	0.00
TOTAL EXPENDITURES		45,000.00	0.00	0.00	10,000.00	10,000.00	0.00
NET OF REVENUES & EXPENDITURES		(45,000.00)	0.00	0.00	0.00	0.00	0.00
BEG. FUND BALANCE				54,136.01	54,136.01		
END FUND BALANCE				54,136.01	54,136.01		

Fund 210 - Debt Service Fund

Revenues

210-000-11-4-00-10	General Property Taxes	0.00	0.00	1,014,920.00	1,014,920.00	0.00	100.00
210-000-81-4-00-10	Investment Interest	(132.05)	0.00	5,531.92	0.00	(5,531.92)	100.00
TOTAL REVENUES		(132.05)	0.00	1,020,451.92	1,014,920.00	(5,531.92)	100.55

Expenditures

210-000-81-5-10-10	Principal - 2010 GO Bonds	0.00	0.00	82,017.00	82,017.00	0.00	100.00
210-000-81-5-10-11	Principal - 2011 Taxable Refun	0.00	0.00	60,000.00	60,000.00	0.00	100.00
210-000-81-5-10-12	Principal - 2011 GO Corp Purp	0.00	0.00	85,000.00	85,000.00	0.00	100.00
210-000-81-5-10-16	Principal - 2012 GO Corp Bonds	0.00	0.00	100,000.00	100,000.00	0.00	100.00

210-000-81-5-10-17	Principal - 2014 GO Bonds	0.00	0.00	300,000.00	140,000.00	(160,000.00)	214.29
210-000-81-5-10-18	PRINCIPAL - 2016 GO REFUNDNG BONDS	0.00	0.00	0.00	35,000.00	35,000.00	0.00
210-000-81-5-10-19	PRINCIPAL - 2016 GENERAL OBLIGATION	0.00	0.00	0.00	125,000.00	125,000.00	0.00
210-000-81-5-10-20	PRINCIPAL - 2018 GO REF BONDS (4/18 N	0.00	117,066.00	117,066.00	0.00	(117,066.00)	100.00
210-000-81-5-10-21	PRINCIPAL - 2018 GO REF BOND (11/18 N	0.00	0.00	380,000.00	0.00	(380,000.00)	100.00
210-000-82-5-00-10	Issuance Costs	475.00	0.00	3,364.58	0.00	(3,364.58)	100.00
210-000-82-5-10-10	Interest - 2010 GO Bonds	0.00	0.00	24,701.00	47,678.00	22,977.00	51.81
210-000-82-5-10-11	Interest - 2011 Taxable Refund	0.00	4,350.00	9,840.00	9,840.00	0.00	100.00
210-000-82-5-10-12	Interest - 2011 GO Corp Purpos	0.00	4,359.00	7,884.00	7,884.00	0.00	100.00
210-000-82-5-10-16	Interest - 2012 GO Corp Bonds	0.00	3,050.50	7,100.50	7,100.00	(0.50)	100.01
210-000-82-5-10-17	Interest - 2014 GO Bonds	0.00	38,963.00	81,269.00	41,738.00	(39,531.00)	194.71
210-000-82-5-10-18	INTEREST - 2016 GO REFUNDNG BONDS	0.00	0.00	0.00	2,406.00	2,406.00	0.00
210-000-82-5-10-19	INTEREST - 2016 GENERAL OBLIGATION E	0.00	0.00	0.00	37,125.00	37,125.00	0.00
210-000-82-5-10-20	INTEREST - 2018 GO RE BOND (4/18 NAN	0.00	0.00	117,066.00	234,132.00	117,066.00	50.00
210-000-82-5-10-21	INTEREST - 2018 GO REF BOND (11/18 N,	0.00	40,741.67	61,701.61	0.00	(61,701.61)	100.00
210-000-82-5-10-22	INTEREST - 2019 GO REF BONDS	0.00	13,583.33	13,583.33	0.00	(13,583.33)	100.00
TOTAL EXPENDITURES		475.00	222,113.50	1,450,593.02	1,014,920.00	(435,673.02)	142.93

Fund 210 - Debt Service Fund:

TOTAL REVENUES	(132.05)	0.00	1,020,451.92	1,014,920.00	(5,531.92)	100.55
TOTAL EXPENDITURES	475.00	222,113.50	1,450,593.02	1,014,920.00	(435,673.02)	142.93
NET OF REVENUES & EXPENDITURES	(607.05)	(222,113.50)	(430,141.10)	0.00	430,141.10	100.00
BEG. FUND BALANCE			(136,652.80)	(136,652.80)		
END FUND BALANCE			(566,793.90)	(136,652.80)		

Fund 320 - Capital Improvement Project Fund

Revenues

320-000-11-4-00-10	General Property Taxes	0.00	0.00	372,000.00	372,000.00	0.00	100.00
320-000-81-4-00-10	Investment Interest	(5,950.47)	0.00	13,525.47	0.00	(13,525.47)	100.00
320-000-83-4-00-50	Equipment Sales	63,688.59	0.00	24,620.00	0.00	(24,620.00)	100.00
TOTAL REVENUES		57,738.12	0.00	410,145.47	372,000.00	(38,145.47)	110.25

Expenditures

320-000-71-5-82-20	Building Imprvmts-Village Hall	0.00	0.00	0.00	21,000.00	21,000.00	0.00
320-000-71-5-82-35	DPW BUILDING	931,802.50	185,666.96	3,165,038.05	0.00	(3,165,038.05)	100.00
320-000-71-5-82-50	Village Hall - Computer Equip	640.00	0.00	14,142.75	29,000.00	14,857.25	48.77
320-000-72-5-81-20	POLICE DEPT VEHICLES	0.00	7,361.21	156,098.08	164,000.00	7,901.92	95.18
320-000-72-5-81-25	Fire Dept. Capital	0.00	31,456.00	208,000.00	208,000.00	0.00	100.00
320-000-72-5-82-25	Consolidated Dispatch	0.00	0.00	27,925.41	27,926.00	0.59	100.00
320-000-73-5-81-30	Public Works Equipment	0.00	0.00	119,840.00	125,000.00	5,160.00	95.87

320-000-73-5-82-30	Street Rehabilitation	0.00	0.00	229,458.45	570,000.00	340,541.55	40.26
320-000-76-5-81-10	LIBRARY BUILDING	0.00	0.00	61,488.00	0.00	(61,488.00)	100.00
320-000-76-5-82-55	Park Improvements	0.00	2,080.00	9,068.78	13,000.00	3,931.22	69.76
320-000-77-5-82-60	Beautification Projects	0.00	15,910.00	49,689.00	20,000.00	(29,689.00)	248.45
320-000-78-5-82-60	API PARK	0.00	0.00	4,613.84	75,000.00	70,386.16	6.15
TOTAL EXPENDITURES		932,442.50	242,474.17	4,045,362.36	1,252,926.00	(2,792,436.36)	322.87

Fund 320 - Capital Improvement Project Fund:

TOTAL REVENUES		57,738.12	0.00	410,145.47	372,000.00	(38,145.47)	110.25
TOTAL EXPENDITURES		932,442.50	242,474.17	4,045,362.36	1,252,926.00	(2,792,436.36)	322.87
NET OF REVENUES & EXPENDITURES		(874,704.38)	(242,474.17)	(3,635,216.89)	(880,926.00)	2,754,290.89	412.66
BEG. FUND BALANCE				3,219,630.11	3,219,630.11		
END FUND BALANCE				(415,586.78)	2,338,704.11		

Fund 350 - TIF #2

Revenues

350-000-11-4-00-10	General Property Taxes	0.00	0.00	737,815.06	728,591.00	(9,224.06)	101.27
350-000-34-4-00-30	Computer Exemptions	0.00	0.00	771.16	753.00	(18.16)	102.41
350-000-81-4-00-10	Investment Interest	(525.75)	0.00	2,704.45	0.00	(2,704.45)	100.00
TOTAL REVENUES		(525.75)	0.00	741,290.67	729,344.00	(11,946.67)	101.64

Expenditures

350-000-67-5-20-20	Professional Services	1,360.00	1,460.61	14,651.10	0.00	(14,651.10)	100.00
350-000-67-5-26-75	Administrative Expenses	125,411.00	0.00	0.00	115,000.00	115,000.00	0.00
350-000-81-5-00-10	Principal - 2000 Taxable Notes	0.00	0.00	720,000.00	720,000.00	0.00	100.00
350-000-82-5-00-10	Interest - 2000 Taxable Notes	0.00	26,442.88	59,105.76	59,106.00	0.24	100.00
TOTAL EXPENDITURES		126,771.00	27,903.49	793,756.86	894,106.00	100,349.14	88.78

Fund 350 - TIF #2:

TOTAL REVENUES		(525.75)	0.00	741,290.67	729,344.00	(11,946.67)	101.64
TOTAL EXPENDITURES		126,771.00	27,903.49	793,756.86	894,106.00	100,349.14	88.78
NET OF REVENUES & EXPENDITURES		(127,296.75)	(27,903.49)	(52,466.19)	(164,762.00)	(112,295.81)	31.84
BEG. FUND BALANCE				(379,887.41)	(379,887.41)		
END FUND BALANCE				(432,353.60)	(544,649.41)		

Fund 353 - TIF #3

Revenues

353-000-11-4-00-10	General Property Taxes	0.00	0.00	1,141,585.33	1,127,313.00	(14,272.33)	101.27
353-000-34-4-00-30	Computer Exemptions	0.00	0.00	14,802.98	14,453.00	(349.98)	102.42

TOTAL REVENUES		0.00	0.00	1,156,388.31	1,141,766.00	(14,622.31)	101.28
Expenditures							
353-000-67-5-20-20	Professional Services	1,360.00	1,460.61	14,651.10	0.00	(14,651.10)	100.00
353-000-67-5-26-75	Administrative Expenses	108,355.39	0.00	(5,505.30)	108,000.00	113,505.30	(5.10)
353-000-81-5-00-10	Principal on Long Term Debt	0.00	0.00	260,000.00	260,000.00	0.00	100.00
353-000-82-5-00-20	INTEREST ON LONG TERM DEBT	0.00	25,599.00	53,798.00	53,798.00	0.00	100.00
TOTAL EXPENDITURES		109,715.39	27,059.61	322,943.80	421,798.00	98,854.20	76.56

Fund 353 - TIF #3:

TOTAL REVENUES		0.00	0.00	1,156,388.31	1,141,766.00	(14,622.31)	101.28
TOTAL EXPENDITURES		109,715.39	27,059.61	322,943.80	421,798.00	98,854.20	76.56
NET OF REVENUES & EXPENDITURES		(109,715.39)	(27,059.61)	833,444.51	719,968.00	(113,476.51)	115.76
BEG. FUND BALANCE				(306,770.88)	(306,770.88)		
END FUND BALANCE				526,673.63	413,197.12		

Fund 354 - TIF #4

Revenues

354-000-11-4-00-10	General Property Taxes	0.00	0.00	29,153.13	28,789.00	(364.13)	101.26
354-000-34-4-00-30	Computer Exemptions	0.00	0.00	6,360.43	6,210.00	(150.43)	102.42
354-000-82-4-00-50	Miscellaneous Income	25,000.00	0.00	538,202.82	0.00	(538,202.82)	100.00
TOTAL REVENUES		25,000.00	0.00	573,716.38	34,999.00	(538,717.38)	1,639.24

Expenditures

354-000-67-5-20-20	Professional Services	1,360.00	14,897.50	34,852.50	0.00	(34,852.50)	100.00
354-000-67-5-26-75	Administrative Expenses	151,451.97	0.00	(2,672.18)	150,000.00	152,672.18	(1.78)
354-000-67-5-82-50	TIF District Projects	1,505,983.11	0.00	4,800.00	0.00	(4,800.00)	100.00
354-000-67-5-82-51	Original Village Project	0.00	13,000.00	13,000.00	0.00	(13,000.00)	100.00
354-000-81-5-00-10	Principal on Long Term Debt	0.00	0.00	282,983.00	282,983.00	0.00	100.00
354-000-82-5-00-10	Interest on Long Term Debt	0.00	50,978.22	126,966.35	146,695.00	19,728.65	86.55
TOTAL EXPENDITURES		1,658,795.08	78,875.72	459,929.67	579,678.00	119,748.33	79.34

Fund 354 - TIF #4:

TOTAL REVENUES		25,000.00	0.00	573,716.38	34,999.00	(538,717.38)	1,639.24
TOTAL EXPENDITURES		1,658,795.08	78,875.72	459,929.67	579,678.00	119,748.33	79.34
NET OF REVENUES & EXPENDITURES		(1,633,795.08)	(78,875.72)	113,786.71	(544,679.00)	(658,465.71)	20.89
BEG. FUND BALANCE				(4,844,724.75)	(4,844,724.75)		
END FUND BALANCE				(4,730,938.04)	(5,389,403.75)		

Fund 600 - Water

Revenues

600-000-64-4-50-10	Metered Sales-Residential	0.00	100.00	505,303.46	680,000.00	174,696.54	74.31
600-000-64-4-50-11	Metered Sales-Commercial	0.00	0.00	158,036.79	230,000.00	71,963.21	68.71
600-000-64-4-50-12	Metered Sales-Bulk	3,432.80	0.00	4,880.45	7,000.00	2,119.55	69.72
600-000-64-4-50-13	Metered Sales-Industrial	0.00	0.00	71,557.81	98,000.00	26,442.19	73.02
600-000-64-4-50-14	Multi-Family Residential Customers	678.94	0.00	215,636.72	290,000.00	74,363.28	74.36
600-000-64-4-50-20	Private Fire Protection	0.00	0.00	39,077.40	53,000.00	13,922.60	73.73
600-000-64-4-50-30	Public Fire Protection	0.00	0.00	212,875.87	280,000.00	67,124.13	76.03
600-000-64-4-50-40	Sales to Public Authorities	0.00	0.00	18,146.81	28,000.00	9,853.19	64.81
600-000-81-4-00-10	Interest & Dividend Income	5,939.91	0.00	20,192.15	0.00	(20,192.15)	100.00
600-000-81-4-00-30	Forfeited Discounts/Penalties	2,478.07	51.20	11,051.60	15,000.00	3,948.40	73.68
600-000-82-4-00-10	Rent Income	0.00	0.00	112,297.97	141,000.00	28,702.03	79.64
600-000-82-4-00-50	Miscellaneous Service Revenue	0.00	0.00	0.00	1,000.00	1,000.00	0.00
600-000-82-4-00-60	GAIN/LOSS ON DISPOSAL OF ASSET	29,750.00	300.00	300.00	100.00	(200.00)	300.00
600-000-83-4-00-10	Amortization of Debt Premium	0.00	0.00	0.00	500.00	500.00	0.00
TOTAL REVENUES		42,279.72	451.20	1,369,357.03	1,823,600.00	454,242.97	75.09

Expenditures

600-000-37-5-60-20	Interest-Debt to Village	0.00	0.00	0.00	45,000.00	45,000.00	0.00
600-000-37-5-90-30	Other Income Deductions-CIAC	0.00	0.00	0.00	100,000.00	100,000.00	0.00
600-611-37-5-22-50	Purchases of Water	54,195.18	61,378.78	627,550.74	745,000.00	117,449.26	84.23
600-611-37-5-35-60	Maint-Structures & Improvement	0.00	0.00	0.00	2,000.00	2,000.00	0.00
600-611-37-5-35-70	Maintenance-Supply Main	2,007.23	3,893.36	21,108.56	12,000.00	(9,108.56)	175.90
600-612-37-5-22-10	Power Purchased for Pumping	322.17	0.00	6,262.35	8,500.00	2,237.65	73.67
600-612-37-5-30-90	Miscellaneous Expense	0.00	0.00	0.00	500.00	500.00	0.00
600-612-37-5-35-60	Maint-Structures & Improvement	0.00	345.08	1,541.91	1,000.00	(541.91)	154.19
600-612-37-5-35-65	Maint-Pumping Equipment	0.00	0.00	5,312.56	4,000.00	(1,312.56)	132.81
600-613-37-5-36-11	Operation Supervision	1,300.50	500.00	3,500.00	2,000.00	(1,500.00)	175.00
600-613-37-5-36-15	Operations Labor	(1,712.55)	191.71	1,412.74	3,000.00	1,587.26	47.09
600-613-37-5-36-40	Chemicals	0.00	0.00	1,283.85	4,000.00	2,716.15	32.10
600-613-37-5-36-90	Miscellaneous Expense	1,802.10	0.00	2,386.72	1,000.00	(1,386.72)	238.67
600-614-37-5-15-10	WI Retirement	96.20	7.94	141.62	0.00	(141.62)	100.00
600-614-37-5-15-15	FICA	101.43	8.45	155.71	0.00	(155.71)	100.00
600-614-37-5-15-20	Group Insurance	493.72	47.64	629.30	0.00	(629.30)	100.00
600-614-37-5-30-90	Miscellaneous Expense	160.86	33.24	2,880.90	4,000.00	1,119.10	72.02
600-614-37-5-35-60	Maintenance-Structures & Imp	0.00	0.00	0.00	1,000.00	1,000.00	0.00
600-614-37-5-35-61	Maintenance-Reserv/Standpipe	0.00	0.00	0.00	1,000.00	1,000.00	0.00
600-614-37-5-35-62	Maintenance-Main	3,203.28	793.63	166,022.51	80,000.00	(86,022.51)	207.53
600-614-37-5-35-63	Maintenance-Services	3,176.65	1,407.98	17,221.71	14,000.00	(3,221.71)	123.01

600-614-37-5-35-64	Maintenance-Meters	0.00	0.00	1,566.80	3,000.00	1,433.20	52.23
600-614-37-5-35-66	Maintenance-Hydrants	421.73	306.74	16,281.63	15,000.00	(1,281.63)	108.54
600-614-37-5-35-67	Maintenance-Misc Plant	(4,164.86)	1,648.70	22,576.92	18,000.00	(4,576.92)	125.43
600-614-37-5-36-10	Operations Supervision	17,084.28	1,225.00	15,126.16	21,000.00	5,873.84	72.03
600-614-37-5-36-11	Maintenance Supervision	14,563.18	1,225.00	14,997.17	15,000.00	2.83	99.98
600-614-37-5-36-20	Meter Expense	(13,137.49)	153.37	1,440.97	12,000.00	10,559.03	12.01
600-614-37-5-36-25	Digger's Hotline Expense	2,694.40	2,894.82	22,286.70	20,000.00	(2,286.70)	111.43
600-614-37-5-36-61	Storage Facilities Expense	0.00	0.00	0.00	1,000.00	1,000.00	0.00
600-614-37-5-36-62	Trans & Dist Line Expense	(7,071.44)	4,121.76	41,443.93	44,000.00	2,556.07	94.19
600-616-37-5-36-10	Supervision-Customer Accounts	10,176.43	500.00	5,922.51	6,500.00	577.49	91.12
600-616-37-5-36-20	Meter Reading Expense	(1,061.08)	1,690.71	13,897.13	8,000.00	(5,897.13)	173.71
600-616-37-5-36-30	Customer Records/Collect Exp	8,313.73	3,096.50	32,761.22	15,000.00	(17,761.22)	218.41
600-616-37-5-36-40	Uncollectible Accounts	0.00	0.00	0.00	3,000.00	3,000.00	0.00
600-616-37-5-36-50	Misc Customer Account Expense	324.00	335.00	8,825.00	4,000.00	(4,825.00)	220.63
600-620-37-5-10-10	Salaries/Wages	680.40	703.50	9,045.41	0.00	(9,045.41)	100.00
600-620-37-5-20-20	Professional Services	0.00	0.00	0.00	25,000.00	25,000.00	0.00
600-620-37-5-30-10	Office Supplies, Equip & Exp	88.19	129.57	2,681.45	12,000.00	9,318.55	22.35
600-620-37-5-30-90	Miscellaneous Expense	2,996.96	2,063.47	9,597.05	8,000.00	(1,597.05)	119.96
600-620-37-5-35-55	Maintenance-General Plant	0.00	0.00	0.00	1,000.00	1,000.00	0.00
600-620-37-5-36-75	Transportation Expense	1,410.04	11.56	576.45	8,000.00	7,423.55	7.21
600-620-37-5-39-60	Regulatory Commission Expense	0.00	0.00	1,344.66	14,000.00	12,655.34	9.60
600-620-37-5-51-10	Property Insurance	0.00	0.00	0.00	12,000.00	12,000.00	0.00
600-620-37-5-51-45	Injuries & Damages	0.00	0.00	0.00	13,000.00	13,000.00	0.00
600-620-37-5-53-20	Rent Expense	0.00	0.00	0.00	20,000.00	20,000.00	0.00
600-621-37-5-54-10	Depreciation Expense	0.00	0.00	0.00	145,000.00	145,000.00	0.00
600-623-37-5-36-80	Taxes	0.00	0.00	1,670.21	280,000.00	278,329.79	0.60
TOTAL EXPENDITURES		98,465.24	88,713.51	1,079,452.55	1,751,500.00	672,047.45	61.63
Fund 600 - Water:							
TOTAL REVENUES		42,279.72	451.20	1,369,357.03	1,823,600.00	454,242.97	75.09
TOTAL EXPENDITURES		98,465.24	88,713.51	1,079,452.55	1,751,500.00	672,047.45	61.63
NET OF REVENUES & EXPENDITURES		(56,185.52)	(88,262.31)	289,904.48	72,100.00	(217,804.48)	402.09
BEG. FUND BALANCE				8,812,781.85	8,812,781.85		
END FUND BALANCE				9,102,686.33	8,884,881.85		
Fund 610 - Storm Water							
Revenues							
610-000-49-4-30-10	Fees & Permits	35.00	0.00	1,165.00	1,500.00	335.00	77.67
610-000-64-4-10-10	Storm Water Charges	0.00	0.00	742,417.70	980,088.00	237,670.30	75.75
610-000-64-4-10-20	Culvert/Driveway Replacements	0.00	0.00	0.00	35,000.00	35,000.00	0.00
610-000-81-4-00-10	Interest Income	2,261.78	0.00	7,520.08	6,000.00	(1,520.08)	125.33

610-000-81-4-00-40	Late Penalties	1,381.09	0.89	5,823.12	5,000.00	(823.12)	116.46
610-000-82-4-00-50	Miscellaneous Revenue	0.00	0.00	78.36	0.00	(78.36)	100.00
TOTAL REVENUES		3,677.87	0.89	757,004.26	1,027,588.00	270,583.74	73.67

Expenditures							
610-000-36-5-10-10	Salaries/Wages	19,326.91	17,044.70	162,264.57	206,277.00	44,012.43	78.66
610-000-36-5-12-20	Uniform Allowance	0.00	0.00	206.78	0.00	(206.78)	100.00
610-000-36-5-15-10	WI Retirement	1,297.59	1,113.36	10,636.11	13,511.00	2,874.89	78.72
610-000-36-5-15-15	FICA	1,407.93	1,243.12	11,886.65	15,780.00	3,893.35	75.33
610-000-36-5-15-20	Group Insurance	4,938.85	4,416.82	39,017.14	65,205.00	26,187.86	59.84
610-000-36-5-20-20	Professional Services	0.00	0.00	2,796.36	15,000.00	12,203.64	18.64
610-000-36-5-20-45	NR216 Contract	1,500.00	8,950.00	8,950.00	20,000.00	11,050.00	44.75
610-000-36-5-22-10	Natural Gas/Electric Service	21.85	57.09	173.22	500.00	326.78	34.64
610-000-36-5-22-20	Water/Sewer-Mun Complex	0.00	0.00	357.24	200.00	(157.24)	178.62
610-000-36-5-23-20	Turf Maintenance	3,759.28	7,745.45	12,738.87	30,000.00	17,261.13	42.46
610-000-36-5-23-25	CCTV/Cleaning Services	0.00	0.00	525.00	2,000.00	1,475.00	26.25
610-000-36-5-26-10	Cleaning Service	0.00	800.00	911.70	500.00	(411.70)	182.34
610-000-36-5-26-75	Administration Services	73,798.00	0.00	0.00	67,975.00	67,975.00	0.00
610-000-36-5-29-30	Landfill fees	516.16	646.07	3,250.40	5,000.00	1,749.60	65.01
610-000-36-5-29-50	Equipment Rental	0.00	0.00	0.00	7,280.00	7,280.00	0.00
610-000-36-5-30-10	Office Supplies	11.98	0.00	0.00	250.00	250.00	0.00
610-000-36-5-33-10	Tools & Supplies	0.00	0.00	381.16	2,000.00	1,618.84	19.06
610-000-36-5-34-10	Fuel, Oil & Lubricants	0.00	0.00	39.21	3,600.00	3,560.79	1.09
610-000-36-5-34-30	Safety Supplies	59.99	0.00	0.00	500.00	500.00	0.00
610-000-36-5-34-35	Coveral Services	0.00	0.00	0.00	150.00	150.00	0.00
610-000-36-5-35-20	Vehicle Repair/Maint Supplies	254.37	0.00	6,562.68	2,400.00	(4,162.68)	273.45
610-000-36-5-35-40	Equipment Repair/Maint Supplie	0.00	1,497.60	3,229.49	2,400.00	(829.49)	134.56
610-000-36-5-36-30	Billing Services	0.00	0.00	0.00	26,000.00	26,000.00	0.00
610-000-36-5-37-10	Operations Material	0.00	750.00	3,951.75	15,000.00	11,048.25	26.35
610-000-36-5-37-20	System Maintenance	0.00	29.37	278.20	5,000.00	4,721.80	5.56
610-000-36-5-45-10	Memberships	0.00	0.00	0.00	500.00	500.00	0.00
610-000-36-5-45-30	Professional Training	0.00	0.00	0.00	2,000.00	2,000.00	0.00
610-000-36-5-54-10	System Depreciation	0.00	0.00	0.00	200,000.00	200,000.00	0.00
610-000-36-5-54-15	Equipment Depreciation	0.00	0.00	0.00	20,000.00	20,000.00	0.00
610-000-36-5-60-20	Debt Service-Interest Expense	0.00	55,328.82	82,891.82	57,924.00	(24,967.82)	143.10
610-000-36-5-81-35	Capital Outlay-Equipment	0.00	0.00	0.00	105,000.00	105,000.00	0.00
610-000-36-5-82-40	Capital Outlay-Imp Storm Sewer	0.00	122,162.17	392,481.54	0.00	(392,481.54)	100.00
610-000-36-5-82-45	Capital Outlay-Imp Ditch/Strm	19,921.87	23,342.02	68,521.20	135,000.00	66,478.80	50.76
TOTAL EXPENDITURES		126,814.78	245,126.59	812,051.09	1,026,952.00	214,900.91	79.07

Fund 610 - Storm Water:

TOTAL REVENUES	3,677.87	0.89	757,004.26	1,027,588.00	270,583.74	73.67
TOTAL EXPENDITURES	126,814.78	245,126.59	812,051.09	1,026,952.00	214,900.91	79.07
NET OF REVENUES & EXPENDITURES	(123,136.91)	(245,125.70)	(55,046.83)	636.00	55,682.83	8,655.16
BEG. FUND BALANCE			2,979,682.34	2,979,682.34		
END FUND BALANCE			2,924,635.51	2,980,318.34		

Fund 630 - Sewer

Revenues

630-000-64-4-10-10	Volumetric Charges	(426.71)	0.00	433,508.84	545,000.00	111,491.16	79.54
630-000-64-4-10-15	Connection Charges	849.20	0.00	159,985.75	212,520.00	52,534.25	75.28
630-000-64-4-10-25	MMSD Charges	(1,101.43)	0.00	680,614.36	750,000.00	69,385.64	90.75
630-000-81-4-00-10	Investment Interest	3,120.34	0.00	10,591.25	5,000.00	(5,591.25)	211.83
630-000-81-4-00-40	Interest-Delinquent Accounts	2,545.60	1.30	12,313.65	15,000.00	2,686.35	82.09
TOTAL REVENUES		4,987.00	1.30	1,297,013.85	1,527,520.00	230,506.15	84.91

Expenditures

630-000-36-5-10-10	Salaries/Wages	6,199.05	6,546.13	68,912.54	98,289.00	29,376.46	70.11
630-000-36-5-12-20	Uniform Allowance	0.00	0.00	0.00	200.00	200.00	0.00
630-000-36-5-15-10	WI Retirement	415.32	428.78	4,513.92	6,438.00	1,924.08	70.11
630-000-36-5-15-15	FICA	452.64	463.54	4,911.85	7,519.00	2,607.15	65.33
630-000-36-5-15-20	Group Insurance	1,745.64	2,248.68	22,307.92	32,602.00	10,294.08	68.43
630-000-36-5-20-20	Professional Services	129.00	1,342.75	8,896.00	15,000.00	6,104.00	59.31
630-000-36-5-20-45	Engineering Services	0.00	288.00	9,018.25	15,000.00	5,981.75	60.12
630-000-36-5-22-10	Natural Gas/Electric Service	230.43	165.01	2,247.58	4,600.00	2,352.42	48.86
630-000-36-5-22-20	Sewer/Water Services	0.00	0.00	178.04	1,200.00	1,021.96	14.84
630-000-36-5-23-10	Cleaning Services	374.40	0.00	0.00	500.00	500.00	0.00
630-000-36-5-26-10	MMSD Service Charges	0.00	0.00	674,728.93	760,000.00	85,271.07	88.78
630-000-36-5-26-15	MMSD Hazardous Waste Service	0.00	0.00	0.00	15,000.00	15,000.00	0.00
630-000-36-5-26-75	ADMINISTRATIVE FEES	93,299.00	0.00	0.00	93,806.00	93,806.00	0.00
630-000-36-5-29-30	Landfill Fees	0.00	0.00	0.00	400.00	400.00	0.00
630-000-36-5-29-50	Equipment Rental	0.00	0.00	0.00	5,000.00	5,000.00	0.00
630-000-36-5-30-10	Office Supplies, Equip & Exp	0.00	0.00	63.28	300.00	236.72	21.09
630-000-36-5-33-10	Tools & Supplies	0.00	0.00	1,171.49	1,000.00	(171.49)	117.15
630-000-36-5-34-10	Fuel, Oil & Lubricants	0.00	0.00	352.36	3,600.00	3,247.64	9.79
630-000-36-5-34-30	Safety Equipment	0.00	0.00	0.00	800.00	800.00	0.00
630-000-36-5-34-35	Uniforms/Coveralls	0.00	0.00	0.00	300.00	300.00	0.00
630-000-36-5-35-20	Vehicle Repair/Maint Supplies	0.00	0.00	255.59	800.00	544.41	31.95
630-000-36-5-35-40	Equip Repair/Maint Supplies	0.00	0.00	403.89	5,000.00	4,596.11	8.08
630-000-36-5-35-60	Maintenance-System	0.00	0.00	0.00	5,000.00	5,000.00	0.00
630-000-36-5-36-30	Meter Expenditures-Water	0.00	0.00	0.00	105,000.00	105,000.00	0.00

630-000-36-5-37-10	Operations Material	827.33	1,225.13	2,889.38	25,000.00	22,110.62	11.56
630-000-36-5-37-20	MONITORING	27.38	165.23	2,388.01	1,000.00	(1,388.01)	238.80
630-000-36-5-45-10	Professional Memberships	0.00	0.00	0.00	1,050.00	1,050.00	0.00
630-000-36-5-45-20	Professional Publications	0.00	0.00	0.00	150.00	150.00	0.00
630-000-36-5-45-30	Professional Training	0.00	0.00	1,402.96	1,500.00	97.04	93.53
630-000-36-5-54-10	Depreciation Expense-System	0.00	0.00	0.00	94,000.00	94,000.00	0.00
630-000-36-5-54-15	Depreciation Expense-Equip	0.00	0.00	0.00	20,000.00	20,000.00	0.00
630-000-36-5-60-20	Interest Expense	0.00	15,907.97	27,964.60	25,412.00	(2,552.60)	110.04
630-000-36-5-81-35	Capital Equipment-Sewer	0.00	0.00	0.00	10,000.00	10,000.00	0.00
630-000-36-5-82-40	Capital Improvement-Sewer	332,651.65	0.00	15,237.82	0.00	(15,237.82)	100.00
630-000-36-5-82-45	Inflow/Infiltration Control	24,470.46	0.00	0.00	150,000.00	150,000.00	0.00
TOTAL EXPENDITURES		460,822.30	28,781.22	847,844.41	1,505,466.00	657,621.59	56.32

Fund 630 - Sewer:

TOTAL REVENUES		4,987.00	1.30	1,297,013.85	1,527,520.00	230,506.15	84.91
TOTAL EXPENDITURES		460,822.30	28,781.22	847,844.41	1,505,466.00	657,621.59	56.32
NET OF REVENUES & EXPENDITURES		(455,835.30)	(28,779.92)	449,169.44	22,054.00	(427,115.44)	2,036.68
BEG. FUND BALANCE				5,102,723.76	5,102,723.76		
END FUND BALANCE				5,551,893.20	5,124,777.76		

Fund 700 - Liability Insurance Fund

Revenues

700-000-81-4-00-50	Dividend Income	0.00	0.00	0.00	16,063.00	16,063.00	0.00
700-000-92-4-10-00	General Fund	90,000.00	0.00	0.00	90,000.00	90,000.00	0.00
TOTAL REVENUES		90,000.00	0.00	0.00	106,063.00	106,063.00	0.00

Expenditures

700-000-19-5-51-50	Liability Ins Premiums	0.00	0.00	98,995.00	99,146.00	151.00	99.85
700-000-19-5-51-75	Insurance Claims	0.00	0.00	15,000.00	100,000.00	85,000.00	15.00
TOTAL EXPENDITURES		0.00	0.00	113,995.00	199,146.00	85,151.00	57.24

Fund 700 - Liability Insurance Fund:

TOTAL REVENUES		90,000.00	0.00	0.00	106,063.00	106,063.00	0.00
TOTAL EXPENDITURES		0.00	0.00	113,995.00	199,146.00	85,151.00	57.24
NET OF REVENUES & EXPENDITURES		90,000.00	0.00	(113,995.00)	(93,083.00)	20,912.00	122.47
BEG. FUND BALANCE				415,811.02	415,811.02		
END FUND BALANCE				301,816.02	322,728.02		

TOTAL REVENUES - ALL FUNDS	458,689.07	155,038.99	9,734,372.78	10,498,801.00	764,428.22	92.72
TOTAL EXPENDITURES - ALL FUNDS	3,881,471.74	1,140,176.55	11,600,800.91	11,291,799.00	(309,001.91)	102.74
NET OF REVENUES & EXPENDITURES	(3,422,782.67)	(985,137.56)	(1,866,428.13)	(792,998.00)	1,073,430.13	235.36
BEG. FUND BALANCE - ALL FUNDS			17,045,328.02	17,045,328.02		
END FUND BALANCE - ALL FUNDS			15,178,899.89	16,252,330.02		



VILLAGE OF BROWN DEER

VOUCHER APPROVAL REGISTER

Finance & Public Works Committee	Date: December 4, 2019
Village Board of Trustees	Date: December 16, 2019
Submitted By: Susan Hudson, Treasurer/Comptroller	

Payments Presented for Ratification

Attached please find the voucher list for bills accrued November 1, 2019 thru November 30, 2019. This covers check numbers **91135 - 91276**
The total amount of vouchers is \$1,294,492.00
Vouchers held for approval (to be paid) –

Below Please Find the Top Five Largest Expenditures in the Packet:

1) PAYNE & DOLAN	\$ 285,482.47
2) MMSD	\$ 236,372.00
3) KUENY ARCHITECTS	\$ 61,488.00
4) MILWAUKEE WATER WORKS	\$ 61,378.78
5) NEWPORT NETWORK SOLUTIONS	\$ 50,635.60

Below please find a list of the voided checks for this period and their amount

Check Date	Bank	Check	Vendor	Vendor Name	Invoice Vendor	Amount	Stat
Bank 1 General Checking Account							
11/01/2019	1	91135	007843	ADVANTAGE POLICE SUPPLY	ADVANTAGE POLICE SUPPLY	1,756.74	Open
11/01/2019	1	91136	MISC	APAZELLER, SHARON	APAZELLER, SHARON	86.83	Open
11/01/2019	1	91137	001344	CARVER, MICHAEL	CARVER, MICHAEL	74.52	Open
11/01/2019	1	91138	008457	COMPLETE OFFICE OF WISCC	COMPLETE OFFICE OF WISCC	115.50	Open
11/01/2019	1	91139	008879	COUNTRY AIRE KENNELS	COUNTRY AIRE KENNELS	49.50	Open
11/01/2019	1	91140	001481	DEMCO	DEMCO	284.37	Open
11/01/2019	1	91141	004568	FUCHS & BOYLE SC	FUCHS & BOYLE SC	2,921.22	Open
11/01/2019	1	91142	007920	GECEB/AMAZON	GECEB/AMAZON	818.98	Open
11/01/2019	1	91143	001705	HAASE, SANDRA JOY	HAASE, SANDRA JOY	13.20	Open
11/01/2019	1	91144	001942	MIDWEST TAPE	MIDWEST TAPE	9.99	Open
11/01/2019	1	91145	001950	MILW CO FEDERATED LIBRA	MILW CO FEDERATED LIBRA	509.13	Open
11/01/2019	1	91146	008706	MUNICIPAL PROPERTY INSUF	MUNICIPAL PROPERTY INSUF	19,144.00	Open
11/01/2019	1	91147	002029	NATIONAL ELEVATOR INSPEC	NATIONAL ELEVATOR INSPEC	176.00	Open
11/01/2019	1	91148	MISC	NEWPORT NETWORK SOLUTION	NEWPORT NETWORK SOLUTION	2,731.14	Open
11/01/2019	1	91149	MISC	NEWPORT NETWORK SOLUTION	NEWPORT NETWORK SOLUTION	21,144.87	Open
11/01/2019	1	91150	MISC	NEWPORT NETWORK SOLUTION	NEWPORT NETWORK SOLUTION	14,236.50	Open
11/01/2019	1	91151	MISC	NEWPORT NETWORK SOLUTION	NEWPORT NETWORK SOLUTION	50,635.60	Open
11/01/2019	1	91152	MISC	NEWPORT NETWORK SOLUTION	NEWPORT NETWORK SOLUTION	2,694.04	Open
11/01/2019	1	91153	MISC	NEWPORT NETWORK SOLUTION	NEWPORT NETWORK SOLUTION	699.19	Open
11/01/2019	1	91154	MISC	NEWPORT NETWORK SOLUTION	NEWPORT NETWORK SOLUTION	15,931.32	Open
11/01/2019	1	91155	002820	NORTH SHORE FIRE DEPARTM	NORTH SHORE FIRE DEPARTM	219.66	Open
11/01/2019	1	91156	188477	PACKERLAND RENT-A-MAT IN	PACKERLAND RENT-A-MAT IN	24.17	Open
11/01/2019	1	91157	009250	REGENCY JANITORIAL SERVI	REGENCY JANITORIAL SERVI	861.12	Open
11/01/2019	1	91158	004697	RINDERLE DOOR COMPANY	RINDERLE DOOR COMPANY	250.00	Open
11/01/2019	1	91159	002265	SCHWAAB INC	SCHWAAB INC	36.75	Open
11/01/2019	1	91160	188476	SHALLOW CREEK KENNELS IN	SHALLOW CREEK KENNELS IN	10,000.00	Open
11/01/2019	1	91161	009191	SHRED-IT USA	SHRED-IT USA	49.42	Open
11/01/2019	1	91162	006863	SIMERLY, BRAD	SIMERLY, BRAD	118.50	Open
11/01/2019	1	91163	007745	WE ENERGIES	WE ENERGIES	10,835.61	Open
11/01/2019	1	91164	MISC	WILLIAMS, LAKISHA	WILLIAMS, LAKISHA	35.00	Open
11/01/2019	1	91165	004600	WM. A. ZACHOW & SONS INC	WM. A. ZACHOW & SONS INC	421.06	Open
11/01/2019	1	91166	002637	XEROX CORPORATION	XEROX CORPORATION	318.09	Open
11/08/2019	1	91167	008700	AHRENHOERSTER, LORI	AHRENHOERSTER, LORI	112.70	Open
11/08/2019	1	91168	008459	AIRGAS USA, LLC	AIRGAS USA, LLC	34.16	Open
11/08/2019	1	91169	003096	ANSHUS, PATTY	ANSHUS, PATTY	800.00	Open
11/08/2019	1	91170	MISC	BISBEE, STUART	BISBEE, STUART	24.92	Open
11/08/2019	1	91171	001295	BROWN DEER LAWN SERVICE	BROWN DEER LAWN SERVICE	3,480.00	Open
11/08/2019	1	91172	007922	BROWN DEER SENIOR CITIZE	BROWN DEER SENIOR CITIZE	56.00	Open
11/08/2019	1	91173	007384	BRUCE WILD PAINTING	BRUCE WILD PAINTING	2,810.00	Open
11/08/2019	1	91174	007332	BS&A SOFTWARE	BS&A SOFTWARE	1,218.00	Open
11/08/2019	1	91175	004374	BUBLITZ, BRIAN	BUBLITZ, BRIAN	42.03	Open
11/08/2019	1	91176	001544	EGELHOFF LAWN MOWER SERV	EGELHOFF LAWN MOWER SERV	49.90	Open
11/08/2019	1	91177	004622	ENVIROTECH EQUIPMENT CO	ENVIROTECH EQUIPMENT CO	1,809.05	Open
11/08/2019	1	91178	001576	FAHRNER ASPHALT SEALERS	FAHRNER ASPHALT SEALERS	19,464.00	Open
11/08/2019	1	91179	006880	GALLS	GALLS	812.38	Open
11/08/2019	1	91180	008496	GIBB BUILDING MAINTENANC	GIBB BUILDING MAINTENANC	1,758.80	Open
11/08/2019	1	91181	004770	GORDIE BOUCHER FORD	GORDIE BOUCHER FORD	841.60	Open
11/08/2019	1	91182	009106	GREENFIELD MUNICPAL COU	GREENFIELD MUNICPAL COU	136.60	Open
11/08/2019	1	91183	009235	HARDY, KALA	HARDY, KALA	130.54	Open
11/08/2019	1	91184	002680	INGRAM LIBRARY SERVICES	INGRAM LIBRARY SERVICES	239.43	Open
11/08/2019	1	91185	188450	KURAMOTO, ALICE	KURAMOTO, ALICE	550.00	Open
11/08/2019	1	91186	001950	MILW CO FEDERATED LIBRA	MILW CO FEDERATED LIBRA	1,016.13	Open
11/08/2019	1	91187	001959	MILWAUKEE AREA DOMESTIC	MILWAUKEE AREA DOMESTIC	87.95	Open
11/08/2019	1	91188	MISC	MILWAUKEE COUNTY EMS	MILWAUKEE COUNTY EMS	13,464.00	Open
11/08/2019	1	91189	MISC	MOORE, MICAH L.	MOORE, MICAH L.	150.00	Open
11/08/2019	1	91190	003573	NASSCO, INC	NASSCO, INC	179.51	Open
11/08/2019	1	91191	007328	PLATT, KATHLEEN	PLATT, KATHLEEN	83.18	Open
11/08/2019	1	91192	MISC	POINT EMBLEMS	POINT EMBLEMS	260.00	Open
11/08/2019	1	91193	009088	RIVISTAS SUBSCRIPTION SE	RIVISTAS SUBSCRIPTION SE	3,155.75	Open
11/08/2019	1	91194	002244	SAFETY MART	SAFETY MART	33.36	Open
11/08/2019	1	91195	004238	SANOFI PASTEUR INC	SANOFI PASTEUR INC	1,351.51	Open
11/08/2019	1	91196	009249	SCHMIDT, ANGELIQUE	SCHMIDT, ANGELIQUE	22.85	Open
11/08/2019	1	91197	MISC	SCHOESSOW EQUIPMENT SERV	SCHOESSOW EQUIPMENT SERV	43.38	Open
11/08/2019	1	91198	009177	SOFTWARE EXPRESSIONS, IN	SOFTWARE EXPRESSIONS, IN	5,394.19	Open
11/08/2019	1	91199	008799	ST LAWRENCE EQUIPMENT IN	ST LAWRENCE EQUIPMENT IN	242.84	Open
11/08/2019	1	91200	005230	STEVER TURF FARM INC	STEVER TURF FARM INC	891.00	Open
11/08/2019	1	91201	002340	STREICHER'S	STREICHER'S	2,449.06	Open
11/08/2019	1	91202	MISC	THOMPSON, BRANDON C.	THOMPSON, BRANDON C.	150.00	Open
11/08/2019	1	91203	008878	TKK ELECTRONICS LLC	TKK ELECTRONICS LLC	1,110.00	Open
11/08/2019	1	91204	004200	VILLAGE OF OCONOMOWOC LA	VILLAGE OF OCONOMOWOC LA	118.80	Open
11/08/2019	1	91205	MISC	WISCONSIN DEPT OF JUSTIC	WISCONSIN DEPT OF JUSTIC	21.00	Open
11/08/2019	1	91206	001750	ICMA	ICMA	1,400.00	Open
11/08/2019	1	91207	007381	KETTLE MORAIN YMCA	KETTLE MORAIN YMCA	20.00	Open
11/08/2019	1	91208	008853	KUENY ARCHITECTS, LLC	KUENY ARCHITECTS, LLC	61,488.00	Open
11/08/2019	1	91209	188477	PACKERLAND RENT-A-MAT IN	PACKERLAND RENT-A-MAT IN	48.34	Open
11/08/2019	1	91210	003586	VILLAGE OF BROWN DEER	VILLAGE OF BROWN DEER	2,455.69	Open
11/08/2019	1	91211	007382	YMCA OF METRO MILWAUKEE	YMCA OF METRO MILWAUKEE	10.00	Open
11/12/2019	1	91212	MISC	WISIALOWSKI, MADISON	WISIALOWSKI, MADISON	451.77	Open

Check Date	Bank	Check	Vendor	Vendor Name	Invoice Vendor	Amount	Stat
11/15/2019	1	91213	001203	BATTERIES PLUS	BATTERIES PLUS	18.00	Open
11/15/2019	1	91214	009199	CARLSON, MARK	CARLSON, MARK	78.88	Open
11/15/2019	1	91215	006008	CITY WATER LLC	CITY WATER LLC	23,950.00	Open
11/15/2019	1	91216	003122	CLEAR CUT PRINT SOLUTION	CLEAR CUT PRINT SOLUTION	50.95	Open
11/15/2019	1	91217	001481	DEMCO	DEMCO	109.01	Open
11/15/2019	1	91218	006880	GALLS	GALLS	84.90	Open
11/15/2019	1	91219	006191	HAHN, JOSEPH	HAHN, JOSEPH	11.08	Open
11/15/2019	1	91220	MISC	HEDRINGTON, ACACIA	HEDRINGTON, ACACIA	61.00	Open
11/15/2019	1	91221	002680	INGRAM LIBRARY SERVICES	INGRAM LIBRARY SERVICES	26.84	Open
11/15/2019	1	91222	004774	JOURNAL SENTINEL	JOURNAL SENTINEL	43.63	Open
11/15/2019	1	91223	003576	LANGUAGE LINE SERVICES	LANGUAGE LINE SERVICES	52.39	Open
11/15/2019	1	91224	MISC	LEE, JASALYN	LEE, JASALYN	313.00	Open
11/15/2019	1	91225	002918	LESNIK, MICHAEL	LESNIK, MICHAEL	1,232.57	Open
11/15/2019	1	91226	001912	MARTENS RELIABLE TRUE VA	MARTENS RELIABLE TRUE VA	27.90	Open
11/15/2019	1	91227	001942	MIDWEST TAPE	MIDWEST TAPE	9.99	Open
11/15/2019	1	91228	001967	MILWAUKEE CO TREASURER	MILWAUKEE CO TREASURER	1,723.10	Open
11/15/2019	1	91229	005127	MILWAUKEE WATER WORKS	MILWAUKEE WATER WORKS	61,378.78	Open
11/15/2019	1	91230	004592	MORGAN, JOSHUA	MORGAN, JOSHUA	224.96	Open
11/15/2019	1	91231	003052	NORTH SHORE WATER COMISS	NORTH SHORE WATER COMISS	300.00	Open
11/15/2019	1	91232	007499	PARK PET	PARK PET	236.45	Open
11/15/2019	1	91233	007872	SCHNEIDER, KIMBERLY	SCHNEIDER, KIMBERLY	106.26	Open
11/15/2019	1	91234	002282	SHARP ELECTRONICS CORP	SHARP ELECTRONICS CORP	227.24	Open
11/15/2019	1	91235	002743	STATE OF WISCONSIN	STATE OF WISCONSIN	8,054.30	Open
11/15/2019	1	91236	002412	TOTAL ENERGY SYSTEMS	TOTAL ENERGY SYSTEMS	844.38	Open
11/15/2019	1	91237	006151	VOGELSANG, ANTHONY	VOGELSANG, ANTHONY	52.26	Open
11/15/2019	1	91238	MISC	WATTS, DEJA	WATTS, DEJA	150.00	Open
11/15/2019	1	91239	002637	XEROX CORPORATION	XEROX CORPORATION	265.84	Open
11/15/2019	1	91240	MISC	DALBACK, OSCAR	DALBACK, OSCAR	388.74	Open
11/22/2019	1	91241	006008	CITY WATER LLC	CITY WATER LLC	64.80	Open
11/22/2019	1	91242	007934	CLIFTONLARSONALLEN LLP	CLIFTONLARSONALLEN LLP	6,400.00	Open
11/22/2019	1	91243	008879	COUNTRY AIRE KENNELS	COUNTRY AIRE KENNELS	56.00	Open
11/22/2019	1	91244	MISC	GLOBAL EQUIPMENT CO., IN	GLOBAL EQUIPMENT CO., IN	253.00	Open
11/22/2019	1	91245	002918	LESNIK, MICHAEL	LESNIK, MICHAEL	118.50	Open
11/22/2019	1	91246	003454	SCRUB BROWN DEER LLC	SCRUB BROWN DEER LLC	14.00	Open
11/22/2019	1	91247	002340	STREICHER'S	STREICHER'S	1,202.86	Open
11/22/2019	1	91248	008878	TKK ELECTRONICS LLC	TKK ELECTRONICS LLC	2,933.00	Open
11/22/2019	1	91249	002690	ZEISE, JILL	ZEISE, JILL	48.75	Open
11/27/2019	1	91251	008428	SUPERIOR VISION INSURANC	SUPERIOR VISION INSURANC	506.48	Open
11/27/2019	1	91252	004788	ASSOCIATED TRUST COMPANY	ASSOCIATED TRUST COMPANY	475.00	Open
11/27/2019	1	91253	002705	AT&T	AT&T	44.79	Open
11/27/2019	1	91254	001168	AYRES ASSOCIATES	AYRES ASSOCIATES	2,262.83	Open
11/27/2019	1	91255	007756	CENTURY LINK	CENTURY LINK	0.82	Open
11/27/2019	1	91256	008457	COMPLETE OFFICE OF WISCC	COMPLETE OFFICE OF WISCC	50.50	Open
11/27/2019	1	91257	001455	CROWLEY CONSTRUCTION CO	CROWLEY CONSTRUCTION CO	4,624.35	Open
11/27/2019	1	91258	001455	CROWLEY CONSTRUCTION CO	CROWLEY CONSTRUCTION CO	14,080.21	Open
11/27/2019	1	91259	001481	DEMCO	DEMCO	1,246.70	Open
11/27/2019	1	91260	008681	FARNHAM, CYNDEE	FARNHAM, CYNDEE	180.35	Open
11/27/2019	1	91261	MISC	KAPLAN, REID	KAPLAN, REID	60.00	Open
11/27/2019	1	91262	188461	KAPUR & ASSOCIATES, INC	KAPUR & ASSOCIATES, INC	5,961.00	Open
11/27/2019	1	91263	003173	L-R METER TESTING & REPA	L-R METER TESTING & REPA	1,862.94	Open
11/27/2019	1	91264	007933	MILWAUKEE CO HOUSE OF CC	MILWAUKEE CO HOUSE OF CC	1,836.10	Open
11/27/2019	1	91265	001967	MILWAUKEE CO TREASURER	MILWAUKEE CO TREASURER	50.00	Open
11/27/2019	1	91266	001967	MILWAUKEE CO TREASURER	MILWAUKEE CO TREASURER	455.04	Open
11/27/2019	1	91267	002110	PAYNE & DOLAN INC	PAYNE & DOLAN INC	585,482.47	Open
11/27/2019	1	91268	008678	PICK N SAVE	PICK N SAVE	53.00	Open
11/27/2019	1	91269	MISC	RAHMING, REACY	RAHMING, REACY	35.00	Open
11/27/2019	1	91270	MISC	TAYLOR, LAURIE	TAYLOR, LAURIE	5.00	Open
11/27/2019	1	91271	003586	VILLAGE OF BROWN DEER	VILLAGE OF BROWN DEER	21,000.00	Open
11/27/2019	1	91272	008290	VON BRIESEN & ROPER S.C.	VON BRIESEN & ROPER S.C.	14,897.50	Open
11/27/2019	1	91273	007745	WE ENERGIES	WE ENERGIES	2,279.85	Open
11/27/2019	1	91274	002564	WI DEPT OF REVENUE	WI DEPT OF REVENUE	1,866.27	Open
11/27/2019	1	91275	008485	YMCA OF GREATER WAUKESHA	YMCA OF GREATER WAUKESHA	20.00	Open
11/27/2019	1	91276	001981	MILWAUKEE METROPOLITAN S	MILWAUKEE METROPOLITAN S	236,372.00	Open

1 TOTALS:

Total of 141 Checks:	1,294,492.00
Less 0 Void Checks:	0.00
Total of 141 Disbursements:	<u>1,294,492.00</u>

GL Number	GL Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	check #
Fund 010 GENERAL FUND							
Dept 000-11 TAXES							
010-000-11-1-00-10	Cash Over/Short	WISIALOWSKI, MADISON	PAYROLL REIMBURSEMENT	11/12/19	11/12/19	451.77	91212
			Total For Dept 000-11 TAXES			451.77	
Dept 000-15							
010-000-15-2-20-60	Vision Insurance Payable	SUPERIOR VISION INSURA	NOVEMBER 2019 VISION	319368	10/25/19	421.87	91130
			Total For Dept 000-15			421.87	
Dept 000-33							
010-000-33-2-00-20	Bail Due Other Departments	GREENFIELD MUNICPAL CO	BROCK, EVA MARIE; 02-27-1990	19-013016	11/08/19	136.60	91182
010-000-33-2-00-20	Bail Due Other Departments	MOORE, MICAH L.	DV DC BAIL	19-11967	11/08/19	150.00	91189
010-000-33-2-00-20	Bail Due Other Departments	THOMPSON, BRANDON C.	DV BAIL	19-11933	11/08/19	150.00	91202
010-000-33-2-00-20	Bail Due Other Departments	VILLAGE OF OCONOMOWOC	MOFFETT, THELMA G. 04-04-1986	19-013072	11/08/19	118.80	91204
010-000-33-2-00-20	Bail Due Other Departments	WATTS, DEJA	DV-DC BAIL	19-13140	11/15/19	150.00	91238
			Total For Dept 000-33			705.40	
Dept 000-42							
010-000-42-2-00-10	Sales Tax Payable	WISCONSIN DEPT OF REVE	SALES TAX	3RDQTR2019	11/30/19	1,533.85	793
010-000-42-4-00-20	Dog/Cat Licenses	MILWAUKEE AREA DOMESTI	PET LICENSING	11/8/19	11/08/19	87.95	91187
			Total For Dept 000-42			1,621.80	
Dept 140-14 VILLAGE MANAGER							
010-140-14-5-45-10	Professional Memberships	ICMA	MEMBERSHIP RENEWAL - HALL, M	RENEWAL	11/08/19	1,400.00	91206
010-140-14-5-45-30	Professional Training	FARNHAM, CYNDEE	MILEAGE/MMCA MEETINGS	UWCB	11/27/19	180.35	91260
			Total For Dept 140-14 VILLAGE MANAGER			1,580.35	
Dept 141-14 VILLAGE MNGER - PERSONNEL ADMINISTRATION							
010-141-14-5-34-40	Employee Recognition	US BANK	EMPLOYEE GIFT CARDS	121819		2,965.50	
			Total For Dept 141-14 VILLAGE MNGER - PERSONNEL A			2,965.50	
Dept 150-15 ADMINISTRATIVE SERVICES							
010-150-15-5-20-35	Technical Services	BS&A SOFTWARE	ANNUAL SERVICE/SUPPORT FEE FIXED AS	125919	11/08/19	1,218.00	91174
010-150-15-5-30-30	Service Fees	WISCONSIN DEPT OF REVE	SALES TAX	3RDQTR2019	11/30/19	119.70	793
			Total For Dept 150-15 ADMINISTRATIVE SERVICES			1,337.70	
Dept 151-15 ASSESSOR							
010-151-15-5-20-20	Professional Services	WI DEPT OF REVENUE	2019 MFG ASSESSMENT	MFG2019	11/27/19	1,866.27	91274
			Total For Dept 151-15 ASSESSOR			1,866.27	
Dept 191-14 OTHER GENERAL GOVERNMENT							
010-191-14-5-24-10	Equipment Maintenance Ser	RICOH USA INC	COPIER IMAGES	5057779794	11/30/19	189.50	783
010-191-14-5-24-10	Equipment Maintenance Ser	RICOH USA INC	COPIER IMAGES	5058016936		404.77	
010-191-14-5-30-10	Office Supplies, Equip & F	STAPLES BUSINESS ADVAN	MEMBERSHIP FEE	1626311114		299.00	
010-191-14-5-30-10	Office Supplies, Equip & F	SHRED-IT USA	MONTHLY SHREDDING SERVICES	8128421264		49.40	
010-191-14-5-30-20	Communications	AT & T	PHONE SERVICE	41435708641019		366.42	
010-191-14-5-30-25	Communication-Internet Ser	SPECTRUM BUSINESS	INTERNET SERVICE	702597601110419		741.23	
			Total For Dept 191-14 OTHER GENERAL GOVERNMENT			2,050.32	
Dept 195-28 Other General Government							
010-195-28-5-39-21	EMPLOYEE WELLNESS BENEFIT	KETTLE MORAIN YMCA	MEMEBERSHIP - WELLNESS	11012019	11/08/19	20.00	91207
010-195-28-5-39-21	EMPLOYEE WELLNESS BENEFIT	YMCA OF GREATER WAUKES	WELLNESS - KOEPPPEL	NOV & SEPT	11/27/19	20.00	91275
			Total For Dept 195-28 Other General Government			40.00	
Dept 199-19 PROPERTY INSURANCE							
010-199-19-5-51-10	Property Insurance-Bldg/P	MUNICIPAL PROPERTY INS	PROPERTY BLDG/PPO, CONTRACTORS, MON	5000183-4	11/01/19	16,077.00	91146

JOURNALIZED
BOTH OPEN AND PAID

GL Number	GL Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	check #
Fund 010 GENERAL FUND							
Dept 199-19 PROPERTY INSURANCE							
010-199-19-5-51-15	Contractor's Equipment	MUNICIPAL PROPERTY INS	PROPERTY BLDG/PPO, CONTRACTORS, MON	5000183-4	11/01/19	1,269.00	91146
010-199-19-5-51-20	Monies & Securities	MUNICIPAL PROPERTY INS	PROPERTY BLDG/PPO, CONTRACTORS, MON	5000183-4	11/01/19	1,798.00	91146
Total For Dept 199-19 PROPERTY INSURANCE						19,144.00	
Dept 210-21 POLICE DEPARTMENT							
010-210-21-5-12-20	Uniform Allowance	GALLS	UNIFORMS	MULTIPLE INV	11/08/19	132.99	91179
010-210-21-5-12-20	Uniform Allowance	GALLS	UNIFORMS	3	11/15/19	7.50	91218
010-210-21-5-12-20	Uniform Allowance	HAHN, JOSEPH	UNIFORM ALLOWANCE	MAT OF RECEIPT	11/15/19	11.08	91219
010-210-21-5-12-20	Uniform Allowance	VOGELSANG, ANTHONY	UNIFORM ALLOWANCE REIMBURSEMENT	2	11/15/19	52.26	91237
010-210-21-5-12-20	Uniform Allowance	LESNIK, MICHAEL	K9 TRAINING EXPENSE REPORT, UNIFORM	K9 TRAINING	11/15/19	162.03	91225
010-210-21-5-20-35	Technical Services	TKK ELECTRONICS LLC	GETAC PRO PROCESSOR	140307	11/22/19	2,933.00	91248
010-210-21-5-24-10	Equipment Maintenance Serv	SHARP ELECTRONICS CORP	SHARP COPIER LEASING PROGRAM	SH354285	11/15/19	227.24	91234
010-210-21-5-30-10	Office Supplies, Equip & E	COMPLETE OFFICE OF WIS	SUPPLIES	494333		335.67	
010-210-21-5-30-10	Office Supplies, Equip & E	BATTERIES PLUS	AA BATTERIES	P20862647	11/15/19	18.00	91213
010-210-21-5-30-30	Service Fees	WISCONSIN DEPT OF JUST	OCTOBER WORCS STATEMENT	OCT 2019	11/08/19	21.00	91205
010-210-21-5-30-30	Service Fees	LANGUAGE LINE SERVICES	OVER THE PHONE INTERPRETATION 19-12	4679074	11/15/19	52.39	91223
010-210-21-5-34-10	Fuel, Oil & Lubricants	BP BUSINESS SOLUTIONS	FUEL	57095399	11/30/19	212.23	781
010-210-21-5-34-10	Fuel, Oil & Lubricants	EXXON MOBIL	FUEL	7187600009668754	11/30/19	3,661.97	782
010-210-21-5-34-20	Vehicle Supplies	SCRUB BROWN DEER LLC	OCTOBER CAR WASHES	OCTOBER 2019	11/22/19	14.00	91246
010-210-21-5-34-35	Uniforms/Coveralls	GALLS	UNIFORMS	MULTIPLE INV	11/08/19	95.39	91179
010-210-21-5-34-35	Uniforms/Coveralls	POINT EMBLEMS	MOBILE FIELD PATCHES	9449	11/08/19	260.00	91192
010-210-21-5-34-35	Uniforms/Coveralls	STREICHER'S	NUMEROUS INVOICES	I1395136	11/08/19	517.86	91201
010-210-21-5-34-35	Uniforms/Coveralls	GALLS	INITIAL ISSUE - FELDHUSEN MOLLE CAR	I2165423	11/08/19	584.00	91179
010-210-21-5-34-35	Uniforms/Coveralls	CLEAR CUT PRINT SOLUTI	BUSINESS CARDS; SARA WHITE	17386	11/15/19	50.95	91216
010-210-21-5-34-35	Uniforms/Coveralls	GALLS	UNIFORMS	3	11/15/19	77.40	91218
010-210-21-5-34-35	Uniforms/Coveralls	STREICHER'S	UNIFORMS	UNIFORM INVOICES	11/22/19	1,202.86	91247
010-210-21-5-35-20	Vehicle Repair/Maint Suppl	GORDIE BOUCHER FORD	VEHICLE REPAIR	TWO INVOICES	11/08/19	841.60	91181
010-210-21-5-39-35	K-9 Program	MORGAN, JOSHUA	K9, DRONE, FIREARMS	BUDGETS	11/15/19	7.99	91230
010-210-21-5-39-35	K-9 Program	PARK PET	K9 VADER	151201	11/15/19	236.45	91232
010-210-21-5-39-35	K-9 Program	COUNTRY AIRE KENNELS	K9 VADER BOARDING	57215	11/22/19	56.00	91243
010-210-21-5-39-35	K-9 Program	LESNIK, MICHAEL	FOOD STORAGE CONTAINER, DRUG DETECT	K9 RECEIPTS	11/22/19	118.50	91245
010-210-21-5-39-40	Ammunition	STREICHER'S	NUMEROUS INVOICES	I1395136	11/08/19	1,931.20	91201
010-210-21-5-39-40	Ammunition	MORGAN, JOSHUA	K9, DRONE, FIREARMS	BUDGETS	11/15/19	56.97	91230
010-210-21-5-45-10	Professional Memberships	MORGAN, JOSHUA	K9, DRONE, FIREARMS	BUDGETS	11/15/19	160.00	91230
010-210-21-5-45-30	Professional Training	ZEISE, JILL	EXPENSE REPORT, MEALS PIO TRAINING	PIO TRAINING	11/22/19	48.75	91249
Total For Dept 210-21 POLICE DEPARTMENT						14,087.28	
Dept 310-31 PUBLIC WORKS ADMINISTRATION							
010-310-31-5-30-20	Communications	AT & T	PHONE SERVICE	41435708641019		31.28	
Total For Dept 310-31 PUBLIC WORKS ADMINISTRATION						31.28	
Dept 311-33 DPW STREETS/TRAFFIC OPERATIONS							
010-311-33-5-22-15	Street Lighting Elec Chrgs	WE ENERGIES	MONTHLY STREET LIGHT CHARGES	11/13/2019	11/27/19	381.71	91273
010-311-33-5-23-20	Turf Maintenance	BROWN DEER LAWN SERVIC	ROUGH CUT - NOKOMIS, RAVINE AND DTI	6938	11/08/19	205.00	91171
010-311-33-5-23-20	Turf Maintenance	BROWN DEER LAWN SERVIC	ROUGH CUT BROWN DEER, DITCHING	7103	11/08/19	75.00	91171
010-311-33-5-23-25	Pavement Marking Services	CROWLEY CONSTRUCTION C	STREET STRIPING	11363	11/27/19	4,624.35	91257
010-311-33-5-23-25	Pavement Marking Services	CROWLEY CONSTRUCTION C	ROAD STRIPING	11275	11/27/19	14,080.21	91258
Total For Dept 311-33 DPW STREETS/TRAFFIC OPERATI						19,366.27	
Dept 313-33 DPW WINTER OPERATIONS							
010-313-33-5-35-30	Tools & Supplies	SCHOESSOW EQUIPMENT SE	PLOW TERMINAL CLEANERS	212	11/08/19	43.38	91197
Total For Dept 313-33 DPW WINTER OPERATIONS						43.38	

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Fund 010 GENERAL FUND							
Dept 317-61 DPW FORESTRY OPERATIONS							
010-317-61-5-35-30	Tools & Supplies	EGELHOFF LAWN MOWER SE 2-	AUTOCUT 25-2	260581	11/08/19	49.90	91176
						49.90	
Total For Dept 317-61 DPW FORESTRY OPERATIONS							
Dept 319-16 DPW MUNICIPAL COMPLEX							
010-319-16-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	DPW BUILDING 8950 N ARBON DR	22067701051119	11/30/19	557.52	790
010-319-16-5-23-10	Cleaning Services	ANSHUS, PATTY	MONTHLY CLEANING DPW (NOV 2019)	131348	11/08/19	800.00	91169
						1,357.52	
Total For Dept 319-16 DPW MUNICIPAL COMPLEX							
Dept 319-33 DPW MUNICIPAL COMPLEX							
010-319-33-5-34-30	Safety Supplies	BUBLITZ, BRIAN	SAFETY COAT	MB336548	11/08/19	42.03	91175
010-319-33-5-34-30	Safety Supplies	SAFETY MART	RESTOCK DPW FIRST AID CABINETS	2625	11/08/19	33.36	91194
010-319-33-5-35-30	Tools & Supplies	AIRGAS USA, LLC	CYLINDER RENTAL	9964903938	11/08/19	34.16	91168
010-319-33-5-35-40	Equip Repair/Maint Supplie	ST LAWRENCE EQUIPMENT	2 SKID SHOES	153211	11/08/19	242.84	91199
						352.39	
Total For Dept 319-33 DPW MUNICIPAL COMPLEX							
Dept 361-16 VILLAGE HALL							
010-361-16-5-22-10	Electric/Natural Gas	WE ENERGIES	STANDARD LIGHTING VILLAGE HALL	92904349261119	11/30/19	66.21	792
						66.21	
Total For Dept 361-16 VILLAGE HALL							
						67,539.21	
Total For Fund 010 GENERAL FUND							
Fund 020 Donation Fund							
Dept 000-21 TAXES RECEIVABLES							
020-000-21-5-39-12	Donation Expenses-Police	SHALLOW CREEK KENNELS	NARCOTICS DETECTION/PATROL POLICE S	CONTRACT (1ST PY	11/01/19	10,000.00	91160
020-000-21-5-39-12	Donation Expenses-Police	LESNIK, MICHAEL	K9 TRAINING EXPENSE REPORT, UNIFORM	K9 TRAINING	11/15/19	1,070.54	91225
						11,070.54	
Total For Dept 000-21 TAXES RECEIVABLES							
						11,070.54	
Total For Fund 020 Donation Fund							
Fund 140 North Shore Health Dept							
Dept 410-41							
140-410-41-5-20-60	TB Contracted Health Exper	HARDY, KALA	KALA'S MILEAGE AND EXPENSES FOR OCT	OCTKH19	11/08/19	26.72	91183
140-410-41-5-30-10	Office Supplies, Equip & E	AMAZON	LAMINATOR	1110549834823783		419.00	
140-410-41-5-34-55	Clinical Supplies	SANOFI PASTEUR INC	SANOFI PASTEUR FLU ZONE QIV AND HD	913706493	11/08/19	1,351.51	91195
140-410-41-5-45-40	Mileage Reimbursement	AHRENHOERSTER, LORI	LORI'S MILEAGE AND EXPENSES OCT 201	OCT19LA	11/08/19	52.96	91167
140-410-41-5-45-40	Mileage Reimbursement	HARDY, KALA	KALA'S MILEAGE AND EXPENSES FOR OCT	OCTKH19	11/08/19	102.08	91183
140-410-41-5-45-40	Mileage Reimbursement	PLATT, KATHLEEN	KATHY'S MILEAGE AND EXPENSES FOR OC	OCTKP	11/08/19	44.66	91191
140-410-41-5-45-40	Mileage Reimbursement	SCHMIDT, ANGELIQUE	ANGIE'S MILEAGE AND EXPENSES	OCTAS19	11/08/19	16.82	91196
140-410-41-5-45-40	Mileage Reimbursement	SCHNEIDER, KIMBERLY	KIM SEPT AND OCT MILEAGE	SEPTOCTKS	11/15/19	27.84	91233
						2,041.59	
Total For Dept 410-41							
Dept 411-41							
140-411-41-5-30-10	Environmental Health Suppl	CARLSON, MARK	MARK CARLSON OCT NOVEMBER MILEAGE	OCTNOVMC	11/15/19	78.88	91214
						78.88	
Total For Dept 411-41							
						2,120.47	
Total For Fund 140 North Shore Health Dept							
Fund 141 NSHD Grant Fund							
Dept 422-41 IMM GRANT							
141-422-41-5-39-70	Program Supplies & Expense	HARDY, KALA	KALA'S MILEAGE AND EXPENSES FOR OCT	OCTKH19	11/08/19	1.74	91183
141-422-41-5-39-70	Program Supplies & Expense	SOFTWARE EXPRESSIONS,	SOFTWARE EXPRESSIONS 5 USER REMOTE	62102	11/08/19	2,575.00	91198
141-422-41-5-39-70	Program Supplies & Expense	SOFTWARE EXPRESSIONS,	SOFTWARE EXPRESSION SETTING UP INSU	62133	11/08/19	244.19	91198
141-422-41-5-39-70	Program Supplies & Expense	SCHMIDT, ANGELIQUE	ANGIE'S MILEAGE AND EXPENSES	OCTAS19	11/08/19	6.03	91196
141-422-41-5-39-70	Program Supplies & Expense	SCHNEIDER, KIMBERLY	KIM SEPT AND OCT MILEAGE	SEPTOCTKS	11/15/19	78.42	91233

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Fund 141 NSHD Grant Fund							
Dept 422-41 IMM GRANT							
Total For Dept 422-41 IMM GRANT						2,905.38	
Dept 442-41 PHP Preparedness							
141-442-41-5-39-70	Program Supplies & Expense	AHRENHOERSTER, LORI	LORI'S MILEAGE AND EXPENSES OCT 201	OCT19LA	11/08/19	59.74	91167
141-442-41-5-39-70	Program Supplies & Expense	SOFTWARE EXPRESSIONS,	SOFTWARE EXPRESSIONS 5 USER REMOTE	62102	11/08/19	2,575.00	91198
Total For Dept 442-41 PHP Preparedness						2,634.74	
Dept 463-41 WIHA - STEPPING ON							
141-463-41-5-45-40	Mileage Reimbursement	PLATT, KATHLEEN	KATHY'S MILEAGE AND EXPENSES FOR OC	OCTKP	11/08/19	38.52	91191
Total For Dept 463-41 WIHA - STEPPING ON						38.52	
Total For Fund 141 NSHD Grant Fund						5,578.64	
Fund 151 Library Fund							
Dept 510-51 92400							
151-510-51-5-30-10	Office Supplies, Equip & E	COMPLETE OFFICE OF WIS	1 X 3 LABELS	501457	11/27/19	50.50	91256
151-510-51-5-30-10	Office Supplies, Equip & E	DEMCO	SUPPLIES	6722860, 6718017	11/27/19	152.70	91259
151-510-51-5-30-20	Communications	AT & T	PHONE SERVICE	41435708641019		22.34	
151-510-51-5-30-20	Communications	AT & T	PHONE SERVICE	41435732231019		397.76	
Total For Dept 510-51 92400						623.30	
Dept 511-51							
151-511-51-5-35-40	Collect Repair/Maint/Suppl	DEMCO	SUPPLIES	6717105	11/15/19	109.01	91217
151-511-51-5-35-40	Collect Repair/Maint/Suppl	DEMCO	SUPPLIES	6722860, 6718017	11/27/19	1,094.00	91259
151-511-51-5-38-15	Books	INGRAM LIBRARY SERVICE	2 ADULT BOOKS	42587617	11/15/19	26.84	91221
151-511-51-5-38-15	Books	MIDWEST TAPE	1 AUDIOBOOK REPLACEMENT DISC	98163902	11/15/19	9.99	91227
151-511-51-5-38-40	Library Programming	BISBEE, STUART	PROGRAM SUPPLIES	11/8/19	11/08/19	24.92	91170
Total For Dept 511-51						1,264.76	
Dept 512-51							
151-512-51-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	SUITE 2 - ELECTRIC	06763898251119	11/30/19	1,320.14	786
151-512-51-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	PUBLIC METER	72372165421119	11/30/19	55.61	787
151-512-51-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	PARKING LOT	04317928351119	11/30/19	22.47	788
151-512-51-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	SUITE 2 - GAS	26782708031119	11/30/19	7.38	789
151-512-51-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	SUITE 1	12129529251119	11/30/19	184.48	791
151-512-51-5-23-10	Cleaning Services	REGENCY JANITORIAL SER	(NEW LIBRARY) JANITORIAL SERVICE NO	67606	11/01/19	861.12	91157
Total For Dept 512-51						2,451.20	
Total For Fund 151 Library Fund						4,339.26	
Fund 153 Recreation Program Fund							
Dept 542-53							
153-542-53-5-39-70	Program Supplies & Expense	KURAMOTO, ALICE	TAI CHI CLASSES AUG - OCT	11519	11/08/19	550.00	91185
Total For Dept 542-53						550.00	
Total For Fund 153 Recreation Program Fund						550.00	
Fund 155 Community Center Fund							
Dept 546-53 Senior Center							
155-546-53-5-39-70	Program Supplies & Expense	BROWN DEER SENIOR CITI	SENIOR CENTER - CLUB CHRISTMAS PART	'19 X-MAS	11/08/19	56.00	91172
Total For Dept 546-53 Senior Center						56.00	
Total For Fund 155 Community Center Fund						56.00	

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Fund 156 PARKS/POND/COMMUNITY CENTER							
Dept 546-53 Senior Center							
156-546-53-5-39-70	PROGRAM SUPPLIES & EXPENSE	GIBB BUILDING MAINTENA	CLEANING SERVICES - NOVEMBER	14952	11/08/19	680.96	91180
156-546-53-5-39-70	PROGRAM SUPPLIES & EXPENSE	WE ENERGIES	ELECTRIC SERVICE 70/30	82789951071119	11/30/19	87.56	784
156-546-53-5-39-70	PROGRAM SUPPLIES & EXPENSE	WE ENERGIES	GAS BILL 70/30	86362386501119	11/30/19	15.72	785
156-546-53-5-39-70	PROGRAM SUPPLIES & EXPENSE	FAT & T	PHONE SERVICE	41435770021019		169.94	
Total For Dept 546-53 Senior Center						954.18	
Dept 547-53 Community Center							
156-547-53-5-39-70	PROGRAM SUPPLIES & EXPENSE	GIBB BUILDING MAINTENA	CLEANING SERVICES - NOVEMBER	14952	11/08/19	291.84	91180
156-547-53-5-39-70	PROGRAM SUPPLIES & EXPENSE	WE ENERGIES	ELECTRIC SERVICE 70/30	82789951071119	11/30/19	37.52	784
156-547-53-5-39-70	PROGRAM SUPPLIES & EXPENSE	WE ENERGIES	GAS BILL 70/30	86362386501119	11/30/19	6.74	785
Total For Dept 547-53 Community Center						336.10	
Total For Fund 156 PARKS/POND/COMMUNITY CENTER						1,290.28	
Fund 170 BD Business Park Street Light Fund							
Dept 000-34 STATE SHARED REVENUE							
170-000-34-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	MONTHLY STREET LIGHT CHARGES	11/13/2019	11/27/19	251.23	91273
Total For Dept 000-34 STATE SHARED REVENUE						251.23	
Total For Fund 170 BD Business Park Street Light						251.23	
Fund 171 Kildeer Court Street Lighting Fund							
Dept 000-34 STATE SHARED REVENUE							
171-000-34-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	MONTHLY STREET LIGHT CHARGES	11/13/2019	11/27/19	58.98	91273
Total For Dept 000-34 STATE SHARED REVENUE						58.98	
Total For Fund 171 Kildeer Court Street Lighting						58.98	
Fund 172 Opus North Street Lighting Fund							
Dept 000-34 STATE SHARED REVENUE							
172-000-34-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	MONTHLY STREET LIGHT CHARGES	11/13/2019	11/27/19	136.34	91273
Total For Dept 000-34 STATE SHARED REVENUE						136.34	
Total For Fund 172 Opus North Street Lighting Fund						136.34	
Fund 173 Park Plaza Street Lighting Fund							
Dept 000-34 STATE SHARED REVENUE							
173-000-34-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	MONTHLY STREET LIGHT CHARGES	11/13/2019	11/27/19	1,128.98	91273
Total For Dept 000-34 STATE SHARED REVENUE						1,128.98	
Total For Fund 173 Park Plaza Street Lighting Fund						1,128.98	
Fund 174 North Arbon Drive Street Lighting Fund							
Dept 000-34 STATE SHARED REVENUE							
174-000-34-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	MONTHLY STREET LIGHT CHARGES	11/13/2019	11/27/19	212.92	91273
Total For Dept 000-34 STATE SHARED REVENUE						212.92	
Total For Fund 174 North Arbon Drive Street Light						212.92	
Fund 175 BD Corporate Park Street Lighting Fund							
Dept 000-34 STATE SHARED REVENUE							
175-000-34-5-22-10	Natural Gas/Electric Servi	WE ENERGIES	MONTHLY STREET LIGHT CHARGES	11/13/2019	11/27/19	90.20	91273
Total For Dept 000-34 STATE SHARED REVENUE						90.20	

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Fund 175 BD Corporate Park Street Lighting Fund			Total For Fund 175 BD Corporate Park Street Light.			90.20	
Fund 188 MUNICIPAL COURT							
Dept 000-33							
188-000-33-2-00-40	COURT DEPOSIT CLEARING	WILLIAMS, LAKISHA	REFUND ON PAYMENT OF WRONG CITATION	BD279142-3	11/01/19	35.00	91164
188-000-33-2-00-40	COURT DEPOSIT CLEARING	HEDRINGTON, ACACIA	DUPLICATE PAYMENT REFUND	N1351084	11/15/19	61.00	91220
188-000-33-2-00-40	COURT DEPOSIT CLEARING	LEE, JASALYN	DUPLICATE PAYMENT MADE	BB796674-4	11/15/19	313.00	91224
188-000-33-2-00-40	COURT DEPOSIT CLEARING	KAPLAN, REID	RE: ALEXIS YORK - RESTITUTION, CITA	5H81CB01T	11/27/19	60.00	91261
188-000-33-2-00-40	COURT DEPOSIT CLEARING	PICK N SAVE	RESTITUTION - KAMERON WALKER	5H17W13V8	11/27/19	53.00	91268
188-000-33-2-00-40	COURT DEPOSIT CLEARING	RAHMING, REACY	OVERPAYMENT REFUND	B336619-3	11/27/19	35.00	91269
188-000-33-2-00-40	COURT DEPOSIT CLEARING	TAYLOR, LAURIE	OVERPAYMENT REFUND	5H8037HWSK	11/27/19	5.00	91270
			Total For Dept 000-33			562.00	
			Total For Fund 188 MUNICIPAL COURT			562.00	
Fund 189 BROWN DEER TOURISM COMMISSION							
Dept 000-41 LICENSES & PERMITS							
189-000-41-5-39-70	Program Supplies & Expense	VILLAGE OF BROWN DEER	TOURISM COMMISSION 3K FOR MUSIC, 10	3586	11/27/19	21,000.00	91271
			Total For Dept 000-41 LICENSES & PERMITS			21,000.00	
			Total For Fund 189 BROWN DEER TOURISM COMMISSION			21,000.00	
Fund 210 Debt Service Fund							
Dept 000-82 MISCELLANEOUS REVENUE							
210-000-82-5-00-10	Issuance Costs	ASSOCIATED TRUST COMPA	GO TAXABLE REFUNDING BONDS 10.27.14	13985	11/27/19	475.00	91252
			Total For Dept 000-82 MISCELLANEOUS REVENUE			475.00	
			Total For Fund 210 Debt Service Fund			475.00	
Fund 320 Capital Improvement Project Fund							
Dept 000-72							
320-000-72-5-81-20	POLICE DEPT VEHICLES	TKK ELECTRONICS LLC	HAVIS DOCKING STATION	140303	11/08/19	1,110.00	91203
320-000-72-5-81-20	POLICE DEPT VEHICLES	GLOBAL EQUIPMENT CO.,	50 MASTERLOCK LOCKS	115129391	11/22/19	253.00	91244
			Total For Dept 000-72			1,363.00	
Dept 000-73 INTERGOVERNMENTAL CHARGES							
320-000-73-5-82-30	Street Rehabilitation	FAHRNER ASPHALT SEALER	CRACK FILLING	8300003916	11/08/19	19,464.00	91178
320-000-73-5-82-30	Street Rehabilitation	PAYNE & DOLAN INC	2019 REPAVING ROADWAYS, 2019 REPAVI	155856-01	11/27/19	562,438.72	91267
			Total For Dept 000-73 INTERGOVERNMENTAL CHARGES			581,902.72	
Dept 000-76							
320-000-76-5-82-55	Park Improvements	BRUCE WILD PAINTING	PAINTING	1003	11/08/19	2,810.00	91173
			Total For Dept 000-76			2,810.00	
Dept 000-77							
320-000-77-5-82-60	Beautification Projects	KAPUR & ASSOCIATES, IN	STREETSCAPING CONCEPTING WISDOT STH	100552	11/27/19	5,961.00	91262
			Total For Dept 000-77			5,961.00	
			Total For Fund 320 Capital Improvement Project Fu			592,036.72	
Fund 600 Water							
Dept 000-31 ACCOUNTS RECEIVALBE							
600-000-31-1-60-10	Accounts Receivable-Custon	APAZELLER, SHARON	REIMBURSE OVERPAID UTILITIES	REFUND UTILITY	11/01/19	30.47	91136
			Total For Dept 000-31 ACCOUNTS RECEIVALBE			30.47	
Dept 612-37 Pumping Expense							

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Fund 600 Water							
Dept 612-37 Pumping Expense							
600-612-37-5-30-90	Miscellaneous Expense	CITY WATER LLC	REIMBURSEABLE EXPENSES	653	11/22/19	54.25	91241
						<u>54.25</u>	
Total For Dept 612-37 Pumping Expense						54.25	
Dept 614-37 Trans & Distribution Expense							
600-614-37-5-30-90	Miscellaneous Expense	CITY WATER LLC	REIMBURSEABLE EXPENSES	653	11/22/19	10.55	91241
600-614-37-5-35-64	Maintenance-Meters	L-R METER TESTING & RE	METER TESTING (4METERS)	4512	11/27/19	1,862.94	91263
						<u>1,873.49</u>	
Total For Dept 614-37 Trans & Distribution Expense						1,873.49	
Dept 620-37 Admin & General Expense							
600-620-37-5-30-10	Office Supplies, Equip & FAT & T		PHONE SERVICE	41435708641019		26.81	
						<u>26.81</u>	
Total For Dept 620-37 Admin & General Expense						26.81	
Total For Fund 600 Water						<u>1,985.02</u>	
Fund 610 Storm Water							
Dept 000-31 ACCOUNTS RECEIVALBE							
610-000-31-1-60-20	Current Accounts Receivable	APAZELLER, SHARON	REIMBURSE OVERPAID UTILITIES	REFUND UTILITY	11/01/19	29.77	91136
						<u>29.77</u>	
Total For Dept 000-31 ACCOUNTS RECEIVALBE						29.77	
Dept 000-36							
610-000-36-5-22-10	Natural Gas/Electric Service	WE ENERGIES	MONTHLY STREET LIGHT CHARGES	11/13/2019	11/27/19	19.49	91273
610-000-36-5-35-40	Equipment Repair/Maint Sup	ENVIROTECH EQUIPMENT C	FRONT PIVOT PIN - SWEEPER	19-0011716-1	11/08/19	267.16	91177
610-000-36-5-35-40	Equipment Repair/Maint Sup	ENVIROTECH EQUIPMENT C	DISCHARGE, PENDANT - SWEEPER	19-0011905	11/08/19	762.56	91177
610-000-36-5-35-40	Equipment Repair/Maint Sup	ENVIROTECH EQUIPMENT C	LUGBOLT, PINS, NOZZLE CYLINDER - ST	19-0011716	11/08/19	779.33	91177
610-000-36-5-82-45	Capital Outlay-Imp Ditch/	BROWN DEER LAWN SERVIC	ROUGH CUT - NOKOMIS, RAVINE AND DTI	6938	11/08/19	1,600.00	91171
610-000-36-5-82-45	Capital Outlay-Imp Ditch/	BROWN DEER LAWN SERVIC	ROUGH CUT BROWN DEER, DITCHING	7103	11/08/19	1,600.00	91171
610-000-36-5-82-45	Capital Outlay-Imp Ditch/	STEVER TURF FARM INC	SOD - 53RD STREET	16063	11/08/19	891.00	91200
610-000-36-5-82-45	Capital Outlay-Imp Ditch/	PAYNE & DOLAN INC	2019 REPAVING ROADWAYS, 2019 REPAVI	155856-01	11/27/19	23,043.75	91267
						<u>28,963.29</u>	
Total For Dept 000-36						28,963.29	
Total For Fund 610 Storm Water						<u>28,993.06</u>	
Fund 630 Sewer							
Dept 000-31 ACCOUNTS RECEIVALBE							
630-000-31-1-30-10	Current Sewer Receivables	APAZELLER, SHARON	REIMBURSE OVERPAID UTILITIES	REFUND UTILITY	11/01/19	26.59	91136
						<u>26.59</u>	
Total For Dept 000-31 ACCOUNTS RECEIVALBE						26.59	
Dept 000-36							
630-000-36-5-26-10	MMSD Service Charges	MILWAUKEE METROPOLITAN	SEPT - NOV SEWER USAGE 2019	291-19	11/27/19	236,372.00	91276
630-000-36-5-82-40	Capital Improvement-Sewer	DALBACK, OSCAR	PLUMBING SERVICES, HOME DEPOT RENTA	11/15/19	11/15/19	388.74	91240
						<u>236,760.74</u>	
Total For Dept 000-36						236,760.74	
Total For Fund 630 Sewer						<u>236,787.33</u>	
Fund 800 Tax Agency							
Dept 000-43 INSPECTION PERMITS							
800-000-43-2-00-75	Late Tax Payments Due Milv	MILWAUKEE CO TREASURER	LATE TAX COLLECTIONS - STEVEN VOIGH'	PARCEL #0460316	11/27/19	50.00	91265
800-000-43-2-00-75	Late Tax Payments Due Milv	MILWAUKEE CO TREASURER	LATE TAX COLLECTIONS - FIDELITY NAT	PARCEL #085-0099	11/27/19	455.04	91266
						<u>505.04</u>	
Total For Dept 000-43 INSPECTION PERMITS						505.04	
Total For Fund 800 Tax Agency						<u>505.04</u>	

JOURNALIZED
 BOTH OPEN AND PAID

GL Number	GL Desc	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	check #
Fund Totals:							
			Fund 010 GENERAL FUND			67,539.21	
			Fund 020 Donation Fund			11,070.54	
			Fund 140 North Shore Heatlh Dept			2,120.47	
			Fund 141 NSHD Grant Fund			5,578.64	
			Fund 151 Library Fund			4,339.26	
			Fund 153 Recreation Program Fund			550.00	
			Fund 155 Community Center Fund			56.00	
			Fund 156 PARKS/POND/COMMUNITY CENTER			1,290.28	
			Fund 170 BD Business Park Street Ligh			251.23	
			Fund 171 Kildeer Court Street Lightin			58.98	
			Fund 172 Opus North Street Lighting F			136.34	
			Fund 173 Park Plaza Street Lighting F			1,128.98	
			Fund 174 North Arbon Drive Street Lig			212.92	
			Fund 175 BD Corporate Park Street Lig			90.20	
			Fund 188 MUNICIPAL COURT			562.00	
			Fund 189 BROWN DEER TOURISM COMMISSIO			21,000.00	
			Fund 210 Debt Service Fund			475.00	
			Fund 320 Capital Improvement Project			592,036.72	
			Fund 600 Water			1,985.02	
			Fund 610 Storm Water			28,993.06	
			Fund 630 Sewer			236,787.33	
			Fund 800 Tax Agency			505.04	
Total For All Funds:						976,767.22	



Village of Brown Deer

Board Meeting

December 16, 2019

Bradley D. Viegut, Managing Director

bviegut@rwbaird.com
777 East Wisconsin Avenue
Milwaukee, WI 53202
Phone 414.765.3827
Fax 414.298.7354



Village of Brown Deer

Board Meeting

December 16, 2019

Borrowing/Structure/Purpose

Estimated Size:	\$6,030,000
Issue:	Note Anticipation Note (NAN)
Purpose:	2020/2021 CIP (interim financing)
Structure:	Matures July 22, 2020
Callable:	April 22, 2020
Estimated Interest Rate:	2.07%

Tentative Timeline

- Village Board considers set sale resolution for short-term financing..... December 16, 2019
- Village Board considers award resolution for NAN (finalizes terms and interest rate).....January 6, 2020
- Closing of NAN (funds available) January 22, 2020



Village of Brown Deer

Board Meeting

December 16, 2019

Borrowing/Structure/Purpose

Estimated Size:	\$5,750,000
Issue:	General Obligation Refunding Bonds
Purpose:	<u>2020/2021 CIP</u> Levy Supported: Road Projects - \$1,040,000 (10 year amortization) Fire Department CIP - \$423,866 (10 year amortization) Joint Dispatch CIP - \$65,000 (10 year amortization) Library Projects - \$3,500,000 (20 year amortization) Water Supported - \$300,000 (15 year amortization) Sewer Supported - \$250,000 (15 year amortization) Stormwater Supported - \$450,000 (15 year amortization)
Structure:	Matures April 1, 2021-2040
Callable:	April 1, 2028
Estimated Interest Rate:	2.61%

Tentative Timeline

- Preparations are made for Refunding Bonds issuance
 - ✓ Official Statement
 - ✓ Bond Rating
 - ✓ Marketing
- Village Board considers award resolution for Refunding Bonds (finalizes terms and interest rates).....March 16, 2020
- Closing of Refunding Bonds (funds available)..... April 6, 2020
- Short-term Note Payoff.....April 22, 2020

Village of Brown Deer

Board Meeting
December 16, 2019

Financing Plan Illustration



LEVY YEAR	YEAR DUE	EXISTING DEBT SERVICE LEVY SUPPORTED	2020 BORROWING				2022 BORROWING				FUTURE CIP (B)	COMBINED DEBT SERVICE LEVY SUPPORTED	YEAR DUE		
			PRINCIPAL (4/1)	INTEREST (4/1 & 10/1)	TOTAL	LEVY SUPPORTED	STORM WATER SUPPORTED	WATER SUPPORTED	SEWER SUPPORTED	PRINCIPAL (4/1)				INTEREST (4/1 & 10/1)	PRINCIPAL (4/1)
			\$5,750,000				\$2,500,000				\$1,000,000				
			G.O. REFUNDING BONDS (A)				G.O. BONDS				G.O. PROMISSORY NOTES				
			Dated April 6, 2020 (First interest 4/1/21)				Dated April 1, 2022 (First interest 10/1/22)				Dated April 1, 2022 (First interest 10/1/22)				
			TIC= 2.61%				AVG= 4.00%				AVG= 3.50%				
2019	2020	\$1,443,811													
2020	2021	\$1,455,109	\$200,000	\$286,439	\$486,439	\$404,074	\$36,435	\$24,247	\$21,683						
2021	2022	\$1,379,054	\$300,000	\$184,263	\$484,263	\$403,838	\$38,750	\$24,163	\$17,513						
2022	2023	\$1,160,706	\$320,000	\$174,963	\$494,963	\$411,113	\$38,000	\$23,713	\$22,138	\$125,000	\$97,500	\$85,000	\$33,513	\$17,500	
2023	2024	\$1,150,069	\$330,000	\$165,213	\$495,213	\$413,013	\$37,250	\$23,263	\$21,688	\$130,000	\$92,400	\$90,000	\$30,450	\$136,013	\$1,930,331
2024	2025	\$1,152,425	\$335,000	\$153,563	\$488,563	\$408,288	\$36,375	\$22,738	\$21,163	\$135,000	\$87,100	\$90,000	\$27,300	\$256,463	\$2,156,575
2025	2026	\$1,012,131	\$350,000	\$139,863	\$489,863	\$406,888	\$35,375	\$27,038	\$20,563	\$140,000	\$81,600	\$95,000	\$24,063	\$373,763	\$2,133,444
2026	2027	\$1,015,738	\$370,000	\$125,463	\$495,463	\$409,988	\$39,275	\$26,238	\$19,963	\$145,000	\$75,900	\$100,000	\$20,650	\$492,825	\$2,260,100
2027	2028	\$1,022,781	\$380,000	\$110,463	\$490,463	\$407,588	\$38,075	\$25,438	\$19,363	\$150,000	\$70,000	\$100,000	\$17,150	\$613,475	\$2,380,994
2028	2029	\$1,028,344	\$395,000	\$96,444	\$491,444	\$410,925	\$36,988	\$24,713	\$18,819	\$155,000	\$63,900	\$105,000	\$13,563	\$730,625	\$2,507,356
2029	2030	\$831,094	\$400,000	\$83,525	\$483,525	\$405,119	\$36,013	\$24,063	\$18,331	\$165,000	\$57,500	\$110,000	\$9,800	\$849,188	\$2,427,700
2030	2031	\$836,106	\$235,000	\$73,206	\$308,206	\$231,913	\$35,038	\$23,413	\$17,844	\$170,000	\$50,800	\$110,000	\$5,950	\$968,988	\$2,373,756
2031	2032	\$672,531	\$250,000	\$65,325	\$315,325	\$231,306	\$38,981	\$22,763	\$22,275	\$180,000	\$43,800	\$115,000	\$2,013	\$1,084,938	\$2,329,588
2032	2033	\$669,788	\$265,000	\$56,956	\$321,956	\$235,456	\$37,844	\$27,031	\$21,625	\$185,000	\$36,500			\$1,201,950	\$2,328,694
2033	2034	\$547,806	\$270,000	\$48,263	\$318,263	\$234,363	\$36,706	\$26,219	\$20,975	\$195,000	\$28,900			\$1,201,950	\$2,208,019
2034	2035	\$546,984	\$275,000	\$39,406	\$314,406	\$233,106	\$35,569	\$25,406	\$20,325	\$200,000	\$21,000			\$1,201,950	\$2,203,041
2035	2036	\$545,363	\$200,000	\$31,688	\$231,688	\$231,688				\$210,000	\$12,800			\$1,201,950	\$2,201,800
2036	2037	\$547,825	\$210,000	\$25,025	\$235,025	\$235,025				\$215,000	\$4,300			\$1,201,950	\$2,204,100
2037	2038	\$544,363	\$215,000	\$18,119	\$233,119	\$233,119								\$1,201,950	\$1,979,431
2038	2039		\$220,000	\$11,050	\$231,050	\$231,050								\$1,201,950	\$1,433,000
2039	2040		\$230,000	\$3,738	\$233,738	\$233,738								\$1,201,950	\$1,435,688
\$17,562,027			\$5,750,000	\$1,892,970	\$7,642,970	\$6,411,593	\$556,673	\$370,440	\$304,264	\$2,500,000	\$874,000	\$1,000,000	\$201,950	\$15,139,375	\$43,688,944

(A) Bonds will be preceded by Note Anticipation Note.

(B) Assumes \$1,000,000 issued every year, beginning in 2023, amortized over ten years at 3.50%.

(C) Debt limit is based on 2019 Equalized Valuation and assumes 1.00% annual growth. Shown beginning of year.

Debt Policy #1 (C)	
Maximum Levy Supported G.O. Debt as a % of legal limit	40%
Percentage of Debt Limit Used (2023, Levy Supported Only):	36%
Maximum Total G.O. Debt as a % of legal limit	
Percentage of Debt Limit Used (2021):	64%
Debt Policy #2	
Annual Levy Supported Debt Service max % of operating revenue	25%
Maximum Debt Service (2029) as % of 2019 Proposed Operating Revenue Levy:	24%

Resolution Providing for the
Sale of Note Anticipation Notes and
General Obligation Refunding Bonds to
Finance 2020 and 2021 Capital Projects

Resolution No. _____

WHEREAS, the Village of Brown Deer, Wisconsin (the "Village") is in need of approximately \$6,030,000 for public purposes, including financing library projects, road projects, stormwater projects, water projects, sewer projects, buildings and equipment for the North Shore Fire Department and Dispatch Center and other projects included in the Village's 2020/2021 Capital Improvement Plan (the "Projects");

WHEREAS, it is necessary and desirable to provide interim financing for the Projects through the issuance of note anticipation notes ("NANs") pursuant to Section 67.12(1)(b), Wis. Stats., and to provide for the issuance of general obligation refunding bonds ("GORBs") to refund the NANs and provide permanent financing for the Projects;

WHEREAS, the GORBs will be issued as separate series of bonds to refund the NANs.

NOW, THEREFORE, BE IT RESOLVED that:

1. The Village shall issue the NANs in the principal amount of approximately \$6,030,000 to pay the costs of the Projects.
2. The Village shall issue the GORBs to refund the NANs and provide permanent financing for the Projects.
3. The officers of the Village are authorized and directed to take all actions necessary to (a) privately place the NANs with a financial institution selected by the officers of the Village and (b) negotiate the sale of the GORBs with Robert W. Baird & Co. Incorporated. The terms of the NANs and GORBs, including the dating, interest rates, maturity schedule and other details of the financings, shall be subject to approval by subsequent resolutions of the Village Board.

Adopted: December 16, 2019.

President

Village Clerk

WB-15 COMMERCIAL OFFER TO PURCHASE

1 **LICENSEE DRAFTING THIS OFFER ON** November 20, 2019 [DATE] IS (AGENT OF BUYER)
2 (AGENT OF SELLER/LISTING BROKER) (AGENT OF BUYER AND SELLER) **STRIKE THOSE NOT APPLICABLE**

3 **GENERAL PROVISIONS** The Buyer, Shalom Baptist Church, Inc.
4 _____

5 _____, offers to purchase the Property known as [Street Address] Village of Brown Deer Public
6 Library, 5600 W Bradley Rd, Brown Deer, WI 53223 in the Brown Deer Village
7 of _____, County of Milwaukee, Wisconsin

8 (Insert additional description, if any, at lines 109-115 or 277-286 or attach as an addendum per line 479), on the following terms:
9 **■ PURCHASE PRICE: Five Hundred Thousand**

10 **■ EARNEST MONEY** of \$ _____ Dollars (\$ 500,000.00).
11 accompanied by _____ accompanies this Offer and earnest money of \$ 10,000.00 will be
12 mailed, or commercially or personally delivered within 5 days of acceptance to listing broker or

13 **■ THE BALANCE OF PURCHASE PRICE** will be paid in cash or equivalent at closing unless otherwise provided below.
14 **■ INCLUDED IN PURCHASE PRICE:** Seller is including in the purchase price the Property, all Fixtures on the Property on the date of this Offer
15 not excluded at lines 20-22, and the following additional items: seller's personal property

16 _____
17 _____

18 All personal property included in purchase price will be transferred by bill of sale or N/A.

19 **■ NOT INCLUDED IN PURCHASE PRICE:** N/A

20 _____
21 _____

22 **CAUTION: Identify trade fixtures owned by tenant, if applicable, and Fixtures that are on the Property (see lines 303-310) to be excluded**
23 **by Seller or which are rented and will continue to be owned by the lessor.**

24 **NOTE: The terms of this Offer, not the listing contract or marketing materials, determine what items are included/excluded.**
25 **ACCEPTANCE** Acceptance occurs when all Buyers and Sellers have signed one copy of the Offer, or separate but identical copies of the Offer.

26 **CAUTION: Deadlines in the Offer are commonly calculated from acceptance. Consider whether short term deadlines running from**
27 **acceptance provide adequate time for both binding acceptance and performance.**

28 **BINDING ACCEPTANCE** This Offer is binding upon both Parties only if a copy of the accepted Offer is delivered to Buyer on or before
29 December 20, 2019. Seller may keep the Property on the market and accept
30 secondary offers after binding acceptance of this Offer.

31 **CAUTION: This Offer may be withdrawn prior to delivery of the accepted Offer.**
32 **OPTIONAL PROVISIONS** TERMS OF THIS OFFER THAT ARE PRECEDED BY AN OPEN BOX () ARE PART OF THIS OFFER ONLY IF
33 THE BOX IS MARKED SUCH AS WITH AN "X." THEY ARE NOT PART OF THIS OFFER IF MARKED "N/A" OR ARE LEFT BLANK.

34 **DELIVERY OF DOCUMENTS AND WRITTEN NOTICES** Unless otherwise stated in this Offer, delivery of documents and written notices to a
35 Party shall be effective only when accomplished by one of the methods specified at lines 37-54.

36 (1) **Personal Delivery:** giving the document or written notice personally to the Party, or the Party's recipient for delivery if named at line 38 or 39.
37 Seller's recipient for delivery (optional): Attn: Nate Piotrowski, Village of Brown Deer
38 Buyer's recipient for delivery (optional): Attorney Daniel Chudnow

39 (2) **Fax:** fax transmission of the document or written notice to the following telephone number:
40 Seller: (_____) Buyer: (262) 240-0011

41 (3) **Commercial Delivery:** depositing the document or written notice fees prepaid or charged to an account with a commercial delivery
42 service, addressed either to the Party, or to the Party's recipient for delivery if named at line 38 or 39, for delivery to the Party's delivery address at
43 line 47 or 48.

44 (4) **U.S. Mail:** depositing the document or written notice postage prepaid in the U.S. Mail, addressed either to the Party, or to the Party's
45 recipient for delivery if named at line 38 or 39, for delivery to the Party's delivery address at line 47 or 48.
46 Delivery address for Seller: 4800 W Green Brook Drive, Brown Deer, WI 53223

47 Delivery address for Buyer: _____

48 (5) **E-Mail:** electronically transmitting the document or written notice to the Party's e-mail address, if given below at line 53 or 54. If this is a
49 consumer transaction where the property being purchased or the sale proceeds are used primarily for personal, family or household purposes,
50 each consumer providing an e-mail address below has first consented electronically to the use of electronic documents, e-mail delivery and
51 electronic signatures in the transaction, as required by federal law.

52 E-mail address for Seller (optional): npiotrowski@browndeerwi.org
53 E-mail address for Buyer (optional): chudlaw@att.net

54 **PERSONAL DELIVERY/ACTUAL RECEIPT** Personal delivery to, or Actual Receipt by, any named Buyer or Seller constitutes personal delivery
55 to, or Actual Receipt by, all Buyers or Sellers.

PROPERTY CONDITION REPRESENTATIONS

Seller represents to Buyer that as of the date of acceptance Seller has no notice or knowledge of Conditions Affecting the Property or Transaction (lines 181-215) other than those identified in Seller's disclosure report dated _____ and Real Estate Condition Report, if applicable, dated _____, which was/were received by Buyer prior to Buyer signing this Offer and which is/are made a part of this offer by reference COMPLETE DATES OR STRIKE AS APPLICABLE and to be provided by Seller within 10 days of acceptance of offer

INSERT CONDITIONS NOT ALREADY INCLUDED IN THE DISCLOSURE OR CONDITION REPORT(S).

CAUTION: If the Property includes 1-4 dwelling units, a Real Estate Condition Report containing the disclosures provided in Wis. Stat. § 709.03 may be required. Excluded from this requirement are sales of property that has never been inhabited, sales exempt from the real estate transfer fee, and sales by certain court-appointed fiduciaries, (for example, personal representatives who have never occupied the Property). Buyer may have rescission rights per Wis. Stat. § 709.05.

CLOSING This transaction is to be closed no later than February 28, 2020

CLOSING PRORATIONS The following items, if applicable, shall be prorated at closing, based upon date of closing values: real estate taxes, rents, prepaid insurance (if assumed), private and municipal charges, property owners association assessments, fuel and _____

CAUTION: Provide basis for utility charges, fuel or other prorations if date of closing value will not be used.

Any income, taxes or expenses shall accrue to Seller, and be prorated at closing, through the day prior to closing.

Real estate taxes shall be prorated at closing based on [CHECK BOX FOR APPLICABLE PRORATION FORMULA]:

The net general real estate taxes for the preceding year, or the current year if available (Net general real estate taxes are defined as general property taxes after state tax credits and lottery credits are deducted) (NOTE: THIS CHOICE APPLIES IF NO BOX IS CHECKED)

Current assessment times current mill rate (current means as of the date of closing)

Sale price, multiplied by the municipality area-wide percent of fair market value used by the assessor in the prior year, or current year if known, multiplied by current mill rate (current means as of the date of closing)

Tax Exempt

CAUTION: Buyer is informed that the actual real estate taxes for the year of closing and subsequent years may be substantially different than the amount used for proration especially in transactions involving new construction, extensive rehabilitation, remodeling or area-wide re-assessment. Buyer is encouraged to contact the local assessor regarding possible tax changes.

Buyer and Seller agree to re-prorate the real estate taxes, through the day prior to closing based upon the taxes on the actual tax bill for the year of closing, with Buyer and Seller each owing his or her pro-rata share. Buyer shall, within 5 days of receipt, forward a copy of the bill to the forwarding address Seller agrees to provide at closing. The Parties shall re-prorate within 30 days of Buyer's receipt of the actual tax bill. Buyer and Seller agree that is a post-closing obligation and is the responsibility of the Parties to complete, not the responsibility of the real estate brokers in this transaction.

OCCUPANCY Occupancy of the entire Property shall be given to Buyer at time of closing unless otherwise provided in this Offer at lines 109-115 or 277-286 or in an addendum attached per line 479. At time of Buyer's occupancy, Property shall be in broom swept condition and free of all debris and personal property except for personal property belonging to current tenants, or that sold to Buyer or left with Buyer's consent. Occupancy shall be given subject to tenant's rights, if any.

LEASED PROPERTY If Property is currently leased and lease(s) extend beyond closing, Seller shall assign Seller's rights under said lease(s) and transfer all security deposits and prepaid rents thereunder to Buyer at closing. The terms of the (written) (oral) STRIKE ONE lease(s), if any, are _____

ESTOPPEL LETTERS: Seller shall deliver to Buyer no later than _____ days before closing, estoppel letters dated within _____ days before closing, from each non-residential tenant, confirming the lease term, rent installment amounts, amount of security deposit, and disclosing any defaults, claims or litigation with regard to the lease or tenancy.

RENTAL WEATHERIZATION This transaction (is) (is not) STRIKE ONE exempt from Wisconsin Rental Weatherization Standards (Wis. Admin. Code Ch. SPS 367). If not exempt, (Buyer) (Seller) STRIKE ONE ("Buyer" if neither is stricken) shall be responsible for compliance, including all costs, with Wisconsin Rental Weatherization Standards. If Seller is responsible for compliance, Seller shall provide a Certificate of Compliance at closing.

TIME IS OF THE ESSENCE "Time is of the Essence" as to: (1) earnest money payment(s); (2) binding acceptance; (3) occupancy; (4) date of closing; (5) contingency Deadlines STRIKE AS APPLICABLE and all other dates and Deadlines in this Offer except: _____

_____. If "Time is of the Essence" applies to a date or Deadline, failure to perform by the exact date or Deadline is a breach of contract. If "Time is of the Essence" does not apply to a date or Deadline, then performance within a reasonable time of the date or Deadline is allowed before a breach occurs.

ADDITIONAL PROVISIONS/CONTINGENCIES 1. Seller agrees to reimburse buyer for the cost of a fire sprinkler system should it be required by governmental authorities at closing.
2. Seller shall be allowed additional occupancy of the building post closing subject to a lease between the parties which will expire no later than 3/31/21. Terms of lease are to be negotiated separately.

PROPOSED USE CONTINGENCIES: Buyer is purchasing the Property for the purpose of: Religious house of worship and school

[insert proposed use and type and size of building, if applicable; e.g. restaurant/tavern with capacity of 350 and 3 second floor dwelling units]. The optional provisions checked on lines 123-139 shall be deemed satisfied unless Buyer delivers to Seller by the deadline(s) set forth on lines 123-139 written notice specifying those items which cannot be satisfied and written evidence substantiating why each specific item included in Buyer's notice cannot be satisfied. Upon delivery of Buyer's notice, this Offer shall be null and void. Seller agrees to cooperate with Buyer as necessary to satisfy the contingencies checked at lines 123-139.

EASEMENTS AND RESTRICTIONS: This Offer is contingent upon Buyer obtaining, within 60 days of acceptance, at (Buyer's) (Seller's) STRIKE ONE ("Buyer's" if neither is stricken) expense, copies of all public and private easements, covenants and restrictions affecting the Property and a written determination by a qualified independent third party that none of these prohibit or significantly delay or increase the costs of the proposed use or development identified at lines 116 to 118.

APPROVALS: This Offer is contingent upon Buyer obtaining, at (Buyer's) (Seller's) STRIKE ONE ("Buyer's" if neither is stricken) expense, all applicable governmental permits, approvals and licenses, as necessary and appropriate, or the final discretionary action by the granting authority prior to the issuance of such permits, approvals and licenses, for the following items related to Buyer's proposed use: conventional loan in an amount of

or delivering written notice to Seller if the item(s) cannot be obtained or can only be obtained subject to conditions which significantly increase the cost of Buyer's proposed use, all within 60 days of acceptance of this Offer.

ACCESS TO PROPERTY: This Offer is contingent upon Buyer obtaining, within 60 days of acceptance, at (Buyer's) (Seller's) STRIKE ONE ("Buyer's" if neither is stricken) expense, written verification that there is legal vehicular access to the Property from public roads.

LAND USE APPROVAL: This Offer is contingent upon Buyer obtaining, at (Buyer's) (Seller's) STRIKE ONE ("Buyer's" if neither is stricken) expense, a rezoning; conditional use permit; license; variance; building permit; occupancy permit; other variance for requirement of fire sprinkler system CHECK ALL THAT APPLY, for the Property for its proposed use described at lines 116-118 or delivering written notice to Seller if the item(s) cannot be obtained or can only be obtained subject to conditions which significantly increase the cost of Buyer's proposed use, all within 180 days of acceptance.

MAP OF THE PROPERTY: This Offer is contingent upon (~~Buyer obtaining~~) (Seller providing) STRIKE ONE ("Seller providing" if neither is stricken) a STRIKE AND COMPLETE AS APPLICABLE survey (ALTA/ACSM Land Title Survey if survey type is not specified) dated subsequent to the date of acceptance of this Offer and prepared by a registered land surveyor, within 90 days of acceptance, at (Buyer's) (Seller's) STRIKE ONE ("Seller's" if neither is stricken) expense. The map shall show minimum of _____ acres, maximum of _____ acres, the legal description of the Property, the Property's boundaries and dimensions, visible encroachments upon the Property, the location of improvements, if any, and: _____.

STRIKE AND COMPLETE AS APPLICABLE Additional map features which may be added include, but are not limited to: staking of all corners of the Property; identifying dedicated and apparent streets; lot dimensions; total acreage or square footage; utility installations; easements or rights-of-way. Such survey shall be in satisfactory form and accompanied by any required surveyor's certificate sufficient to enable Buyer to obtain removal of the standard survey exception on the title policy.

CAUTION: Consider the cost and the need for map features before selecting them. Also consider the time required to obtain the map when setting the deadline.

This contingency shall be deemed satisfied unless Buyer, within five (5) days of the earlier of: (1) Buyer's receipt of the map; or (2) the deadline for delivery of said map, delivers to Seller a copy of the map and a written notice which identifies: (1) a significant encroachment; (2) information materially inconsistent with prior representations; (3) failure to meet requirements stated within this contingency; or (4) the existence of conditions that would prohibit the Buyer's intended use of the Property described at lines 116-118. Upon delivery of Buyer's notice, this Offer shall be null and void.

DOCUMENT REVIEW CONTINGENCY: This Offer is contingent upon Seller delivering the following documents to Buyer within 90 days of acceptance: CHECK THOSE THAT APPLY; STRIKE AS APPROPRIATE

Documents evidencing that the sale of the Property has been properly authorized, if Seller is a business entity.

A complete inventory of all furniture, fixtures, equipment and other personal property included in this transaction which is consistent with representations made prior to and in this Offer.

Uniform Commercial Code lien search as to the personal property included in the purchase price, showing the Property to be free and clear of all liens, other than liens to be released prior to or at closing.

Rent roll.

Other _____

Additional items which may be added include, but are not limited to: building, construction or component warranties, previous environmental site assessments, surveys, title commitments and policies, maintenance agreements, other contracts relating to the Property, existing permits and licenses, recent financial operating statements, current and future rental agreements, notices of termination and non-renewal, and assessment notices.

All documents Seller delivers to Buyer shall be true, accurate, current and complete. Buyer shall keep all such documents confidential and disclose them to third parties only to the extent necessary to implement other provisions of this Offer. Buyer shall return all documents (originals and any reproductions) to Seller if this Offer is terminated.

CONTINGENCY SATISFACTION: This contingency shall be deemed satisfied unless Buyer, within 90 days of the earlier of receipt of the final document to be delivered or the deadline for delivery of the documents, delivers to Seller a written notice indicating that this

176 contingency has not been satisfied. Such notice shall identify which document(s) have not been timely delivered or do not meet the standard set
 177 forth for the document(s). Upon delivery of such notice, this Offer shall be null and void.

178 **DEFINITIONS**

179 ■ **ACTUAL RECEIPT:** "Actual Receipt" means that a Party, not the Party's recipient for delivery, if any, has the document or written notice
 180 physically in the Party's possession, regardless of the method of delivery.

181 ■ **CONDITIONS AFFECTING THE PROPERTY OR TRANSACTION:** "Conditions Affecting the Property or Transaction" are defined to include:

- 182 a. Defects in structural components, e.g. roof, foundation, basement or other walls.
- 183 b. Defects in mechanical systems, e.g. HVAC, electrical, plumbing, septic, well, fire safety, security or lighting.
- 184 c. Underground or aboveground storage tanks presently or previously on the Property for storage of flammable or combustible liquids, including
 185 but not limited to gasoline and heating oil.
- 186 d. Defect or contamination caused by unsafe concentrations of, or unsafe conditions relating to, lead paint, asbestos, radon, radium in water
 187 supplies, mold, pesticides or other potentially hazardous or toxic substances on the premises.
- 188 e. Production of or spillage of methamphetamine (meth) or other hazardous or toxic substances on the Property.
- 189 f. Zoning or building code violations, any land division involving the Property for which required state or local permits had not been obtained,
 190 nonconforming structures or uses, conservation easements, rights-of-way.
- 191 g. Special purpose district, such as a drainage district, lake district, sanitary district or sewer district, that has the authority to impose
 192 assessments against the real property located within the district.
- 193 h. Proposed, planned or commenced public improvements which may result in special assessments or otherwise materially affect the Property
 194 or the present use of the Property.
- 195 i. Federal, state or local regulations requiring repairs, alterations or corrections of an existing condition.
- 196 j. Flooding, standing water, drainage problems or other water problems on or affecting the Property.
- 197 k. Material damage from fire, wind, floods, earthquake, expansive soils, erosion or landslides.
- 198 l. Near airports, freeways, railroads or landfills, or significant odor, noise, water intrusion or other irritants emanating from neighboring property.
- 199 m. Portion of the Property in a floodplain, wetland or shoreland zoning area under local, state or federal regulations.
- 200 n. Property is subject to a mitigation plan required under administrative rules of the Department of Natural Resources related to county
 201 shoreland zoning ordinances, which obligates the owner of the Property to establish or maintain certain measures related to shoreland
 202 conditions and which is enforceable by the county.
- 203 o. Encroachments; easements, other than recorded utility easements; access restrictions; covenants, conditions and restrictions; shared
 204 fences, walls, wells, driveways, signage or other shared usages; or leased parking.
- 205 p. High voltage electric (100 KV or greater) or steel natural gas transmission lines located on but not directly serving the Property.
- 206 q. Structure on the Property designated as a historic building, any part of the Property located in a historic district, or burial sites or
 207 archeological artifacts on the Property.
- 208 r. All or part of the land has been assessed as agricultural land, the owner has been assessed a use-value conversion charge or the payment
 209 of a use-value conversion charge has been deferred.
- 210 s. All or part of the Property is subject to, enrolled in or in violation of a certified farmland preservation zoning district or a farmland preservation
 211 agreement, or a Forest Crop, Managed Forest (see disclosure requirements in Wis. Stat. § 710.12), Conservation Reserve or comparable
 212 program.
- 213 t. A pier is attached to the Property that is not in compliance with state or local pier regulations.
- 214 u. Government investigation or private assessment/audit (of environmental matters) conducted.
- 215 v. Other Defects affecting the Property.

216 ■ **DEADLINES:** "Deadlines" expressed as a number of "days" from an event, such as acceptance, are calculated by excluding the day the event
 217 occurred and by counting subsequent calendar days. The deadline expires at midnight on the last day. Deadlines expressed as a specific number
 218 of "business days" exclude Saturdays, Sundays, any legal public holiday under Wisconsin or Federal law, and other day designated by the
 219 President such that the postal service does not receive registered mail or make regular deliveries on that day. Deadlines expressed as a specific
 220 number of "hours" from the occurrence of an event, such as receipt of a notice, are calculated from the exact time of the event, and by counting 24
 221 hours per calendar day. Deadlines expressed as a specific day of the calendar year or as the day of a specific event, such as closing, expire at
 222 midnight of that day.

223 ■ **DEFECT:** "Defect" means a condition that would have a significant adverse effect on the value of the Property; that would significantly impair
 224 the health or safety of future occupants of the Property; or that if not repaired, removed or replaced would significantly shorten or adversely affect
 225 the expected normal life of the premises.

226 (Definitions Continued on page 6)

IF LINE 228 IS NOT MARKED OR IS MARKED N/A LINES 264-269 APPLY.

227
 228 **FINANCING CONTINGENCY:** This Offer is contingent upon Buyer being able to obtain a written _____ conventional
 229 [INSERT LOAN PROGRAM OR SOURCE] first mortgage loan commitment as described below, within _____ 60 _____ days of acceptance of this
 230 Offer. The financing selected shall be in an amount of not less than \$ 250,000.00 _____ for a term of not less than _____ 5 _____ years,
 231 amortized over not less than _____ 20 _____ years. Initial monthly payments of principal and interest shall not exceed \$ 1,650.00 _____. Monthly
 232 payments may also include 1/12th of the estimated net annual real estate taxes, hazard insurance premiums, and private mortgage insurance
 233 premiums. The mortgage may not include a prepayment premium. Buyer agrees to pay discount points and/or loan origination fee in an amount
 234 not to exceed _____ % of the loan. If the purchase price under this Offer is modified, the financed amount, unless otherwise provided, shall
 235 be adjusted to the same percentage of the purchase price as in this contingency and the monthly payments shall be adjusted as necessary to
 236 maintain the term and amortization stated above.

237 **CHECK AND COMPLETE APPLICABLE FINANCING PROVISION AT LINE 238 or 239.**

238 **FIXED RATE FINANCING:** The annual rate of interest shall not exceed _____ 5.000 _____ %.
 239 **ADJUSTABLE RATE FINANCING:** The initial annual interest rate shall not exceed _____ % . The initial interest rate shall be
 240 fixed for _____ months, at which time the interest rate may be increased not more than _____ % per year. The maximum
 241 interest rate during the mortgage term shall not exceed _____ % . Monthly payments of principal and interest may be adjusted to
 242 reflect interest changes

243 If Buyer is using multiple loan sources or obtaining a construction loan or land contract financing, describe at lines 109-115 or 277-286
 244 or in an addendum attached per line 479.

245 **NOTE:** If purchase is conditioned on buyer obtaining financing for operations or development consider adding a contingency for that
 246 purpose.

247 **BUYER'S LOAN COMMITMENT:** Buyer agrees to pay all customary loan and closing costs, to promptly apply for a mortgage loan, and to
 248 provide evidence of application promptly upon request of Seller. If Buyer qualifies for the loan described in this Offer or another loan acceptable to
 249 Buyer, Buyer agrees to deliver to Seller a copy of the written loan commitment no later than the deadline at line 229. Buyer and Seller agree that
 250 delivery of a copy of any written loan commitment to Seller (even if subject to conditions) shall satisfy Buyer's financing contingency if,
 251 after review of the loan commitment, Buyer has directed, in writing, delivery of the loan commitment. Buyer's written direction shall
 252 accompany the loan commitment. Delivery shall not satisfy this contingency if accompanied by a notice of unacceptability.

253 **CAUTION:** The delivered commitment may contain conditions Buyer must yet satisfy to obligate the lender to provide the loan. BUYER,
 254 BUYER'S LENDER AND AGENTS OF BUYER OR SELLER SHALL NOT DELIVER A LOAN COMMITMENT TO SELLER OR SELLER'S
 255 AGENT WITHOUT BUYER'S PRIOR WRITTEN APPROVAL OR UNLESS ACCOMPANIED BY A NOTICE OF UNACCEPTABILITY.

256 **SELLER TERMINATION RIGHTS:** If Buyer does not make timely delivery of said commitment; Seller may terminate this Offer if Seller delivers
 257 a written notice of termination to Buyer prior to Seller's Actual Receipt of a copy of Buyer's written loan commitment.

258 **FINANCING UNAVAILABILITY:** If financing is not available on the terms stated in this Offer (and Buyer has not already delivered an
 259 acceptable loan commitment for other financing to Seller), Buyer shall promptly deliver written notice to Seller of same including copies of
 260 lender(s)' rejection letter(s) or other evidence of unavailability. Unless a specific loan source is named in this Offer, Seller shall then have 10 days
 261 to deliver to Buyer written notice of Seller's decision to finance this transaction on the same terms set forth in this Offer, and this Offer shall remain
 262 in full force and effect, with the time for closing extended accordingly. If Seller's notice is not timely given, this Offer shall be null and void. Buyer
 263 authorizes Seller to obtain any credit information reasonably appropriate to determine Buyer's credit worthiness for Seller financing.

264 **IF THIS OFFER IS NOT CONTINGENT ON FINANCING:** Within 7 days of acceptance, a financial institution or third party in control of Buyer's
 265 funds shall provide Seller with reasonable written verification that Buyer has, at the time of verification, sufficient funds to close. If such written
 266 verification is not provided, Seller has the right to terminate this Offer by delivering written notice to Buyer. Buyer may or may not obtain mortgage
 267 financing but does not need the protection of a financing contingency. Seller agrees to allow Buyer's appraiser access to the Property for
 268 purposes of an appraisal. Buyer understands and agrees that this Offer is not subject to the appraisal meeting any particular value, unless this
 269 Offer is subject to an appraisal contingency, nor does the right of access for an appraisal constitute a financing contingency.

270 **APPRAISAL CONTINGENCY:** This Offer is contingent upon the Buyer or Buyer's lender having the Property appraised at Buyer's expense
 271 by a Wisconsin licensed or certified independent appraiser who issues an appraisal report dated subsequent to the date of this Offer indicating an
 272 appraised value for the Property equal to or greater than the agreed upon purchase price. This contingency shall be deemed satisfied unless
 273 Buyer, within _____ 60 _____ days of acceptance, delivers to Seller a copy of the appraisal report which indicates that the appraised value is not
 274 equal to or greater than the agreed upon purchase price, accompanied by a written notice of termination.

275 **CAUTION:** An appraisal ordered by Buyer's lender may not be received until shortly before closing. Consider whether deadlines provide
 276 adequate time for performance.

277 **ADDITIONAL PROVISIONS/CONTINGENCIES** 1. Other than what is expressed in the fire sprinkler's provision
 278 above, any governmental requirements for buyer's occupancy cannot exceed \$25,000.00. Or seller
 279 shall provide an additional credit at closing to cover those costs.

280 2. The terms of the lease shall include a credit at closing for the amount of \$8,400.00 to cover
 281 the buyer's mortgage interest, plus the seller shall cover utilities and maintenance for the
 282 property during their occupancy. Seller shall be allowed to terminate lease early subject to 30
 283 days written notice to buyer. Buyer shall be allowed use of the premises during the lease period
 284 on Tuesday evenings and Sundays for Church activities and services.

285 The offer is contingent upon buyer's congregational approval within 30 days of acceptance.

286

DEFINITIONS CONTINUED FROM PAGE 4

288 ■ **ENVIRONMENTAL SITE ASSESSMENT:** An "Environmental Site Assessment" (also known as a "Phase I Site Assessment") (see lines 379-395)
 289 may include, but is not limited to: (1) an inspection of the Property; (2) a review of the ownership and use history of the Property, including a
 290 search of title records showing private ownership of the Property for a period of 80 years prior to the visual inspection; (3) a review of historic and
 291 recent aerial photographs of the Property, if available; (4) a review of environmental licenses, permits or orders issued with respect to the Property
 292 (5) an evaluation of results of any environmental sampling and analysis that has been conducted on the Property; and (6) a review to determine if
 293 the Property is listed in any of the written compilations of sites or facilities considered to pose a threat to human health or the environment
 294 including the National Priorities List, the Department of Nature Resources' (DNR) Registry of Waste Disposal Sites, the DNR's Contaminated
 295 Lands Environmental Action Network, and the DNR's Remediation and Redevelopment (RR) Sites Map including the Geographical Information
 296 System (GIS) Registry and related resources. Any Environmental Site Assessment performed under this Offer shall comply with generally
 297 recognized industry standards (e.g. current American Society of Testing and Materials "Standard Practice for Environmental Site Assessments"),
 298 and state and federal guidelines, as applicable.

299 **CAUTION: Unless otherwise agreed an Environmental Site Assessment does not include subsurface testing of the soil or groundwater**
 300 **or other testing of the Property for environmental pollution. If further investigation is required, insert provisions for a Phase II Site**
 301 **Assessment (collection and analysis of samples), Phase III Environmental Site Assessment (evaluation of remediation alternatives) or**
 302 **other site evaluation at lines 109-115 or 277-286 or attach as an addendum per line 479.**

303 ■ **FIXTURE:** A "Fixture" is an item of property which is physically attached to or so closely associated with land or improvements so as to be
 304 treated as part of the real estate, including, without limitation, physically attached items not easily removable without damage to the premises,
 305 items specifically adapted to the premises and items customarily treated as fixtures, including, but not limited to, all: garden bulbs; plants; shrubs
 306 and trees; screen and storm doors and windows; electric lighting fixtures; window shades; curtain and traverse rods; blinds and shutters; central
 307 heating and cooling units and attached equipment; water heaters and treatment systems; sump pumps; attached or fitted floor coverings; awnings;
 308 attached antennas; garage door openers and remote controls; installed security systems; central vacuum systems and accessories; in-ground
 309 sprinkler systems and component parts; built-in appliances; ceiling fans; fences; storage buildings on permanent foundations and docks/piers on
 310 permanent foundations. A Fixture does not include trade fixtures owned by tenants of the Property.

311 **CAUTION: Exclude Fixtures not owned by Seller such as rented fixtures. See lines 20-22.**

312 ■ **PROPERTY:** Unless otherwise stated, "Property" means the real estate described at lines 4-7.

313 **DISTRIBUTION OF INFORMATION** Buyer and Seller authorize the agents of Buyer and Seller to: (i) distribute copies of the Offer to Buyer's
 314 lender, appraisers, title insurance companies and any other settlement service providers for the transaction as defined by the Real Estate
 315 Settlement Procedures Act (RESPA); (ii) report sales and financing concession data to multiple listing service sold databases; and (iii) provide
 316 active listing, pending sale, closed sale and financing concession information and data, and related information regarding seller contributions,
 317 incentives or assistance, and third party gifts, to appraisers researching comparable sales, market conditions and listings, upon inquiry.

EARNEST MONEY

319 ■ **HELD BY:** Unless otherwise agreed, earnest money shall be paid to and held in the trust account of the listing broker (Buyer's agent if Property
 320 is not listed or Seller's account if no broker is involved), until applied to purchase price or otherwise disbursed as provided in the Offer.

321 **CAUTION: Should persons other than a broker hold earnest money, an escrow agreement should be drafted by the Parties or an**
 322 **attorney. If someone other than Buyer makes payment of earnest money, consider a special disbursement agreement.**

323 ■ **DISBURSEMENT:** If negotiations do not result in an accepted offer, the earnest money shall be promptly disbursed (after clearance from
 324 payor's depository institution if earnest money is paid by check) to the person(s) who paid the earnest money. At closing, earnest money shall be
 325 disbursed according to the closing statement. If this Offer does not close, the earnest money shall be disbursed according to a written
 326 disbursement agreement signed by all Parties to this Offer. If said disbursement agreement has not been delivered to broker within 60 days after
 327 the date set for closing, broker may disburse the earnest money: (1) as directed by an attorney who has reviewed the transaction and does not
 328 represent Buyer or Seller; (2) into a court hearing a lawsuit involving the earnest money and all Parties to this Offer; (3) as directed by court order;
 329 or (4) any other disbursement required or allowed by law. Broker may retain legal services to direct disbursement per (1) or to file an interpleader
 330 action per (2) and broker may deduct from the earnest money any costs and reasonable attorneys fees, not to exceed \$250, prior to
 331 disbursement.

332 ■ **LEGAL RIGHTS/ACTION:** Broker's disbursement of earnest money does not determine the legal rights of the Parties in relation to this Offer.
 333 Buyer's or Seller's legal right to earnest money cannot be determined by broker. At least 30 days prior to disbursement per (1) or (4) above, broker
 334 shall send Buyer and Seller notice of the disbursement by certified mail. If Buyer or Seller disagree with broker's proposed disbursement, a lawsuit
 335 may be filed to obtain a court order regarding disbursement. Small Claims Court has jurisdiction over all earnest money disputes arising out of the
 336 sale of residential property with 1-4 dwelling units and certain other earnest money disputes. Buyer and Seller should consider consulting
 337 attorneys regarding their legal rights under this Offer in case of a dispute. Both Parties agree to hold the broker harmless from any liability for good
 338 faith disbursement of earnest money in accordance with this Offer or applicable Department of Safety and Professional Services regulations
 339 concerning earnest money. See Wis. Admin. Code Ch. REEB 18.

TITLE EVIDENCE

341 ■ **CONVEYANCE OF TITLE:** Upon payment of the purchase price, Seller shall convey the Property by warranty deed (trustee's deed if
 342 Seller is a trust, personal representative's deed if Seller is an estate or other conveyance as provided herein) free and clear of all liens and
 343 encumbrances, except: municipal and zoning ordinances and agreements entered under them, recorded easements for the distribution of utility
 344 and municipal services, recorded building and use restrictions and covenants, present uses of the Property in violation of the foregoing disclosed
 345 in Seller's disclosure report, and Real Estate Condition Report, if applicable, and in this Offer, general taxes levied in the year of closing and
 346

347 _____
 348 _____ which constitutes merchantable title for purposes of this transaction. Seller shall complete and execute the documents
 349 necessary to record the conveyance at Seller's cost and pay the Wisconsin Real Estate Transfer Fee.

350 **WARNING: Municipal and zoning ordinances, recorded building and use restrictions, covenants and easements may prohibit certain**
 351 **improvements or uses and therefore should be reviewed, particularly if Buyer contemplates making improvements to Property or a use**
 352 **other than the current use.**

353 ■ **TITLE EVIDENCE:** Seller shall give evidence of title in the form of an owner's policy of title insurance in the amount of the purchase price on a
 354 current ALTA form issued by an insurer licensed to write title insurance in Wisconsin. Seller shall pay all costs of providing title evidence to Buyer.
 355 Buyer shall pay all costs of providing title evidence required by Buyer's lender.

356 ■ **GAP ENDORSEMENT:** Seller shall provide a "gap" endorsement or equivalent gap coverage at (Seller's) (Buyer's) **STRIKE ONE** ("Seller's" if
 357 neither stricken) cost to provide coverage for any liens or encumbrances first filed or recorded after the effective date of the title insurance
 358 commitment and before the deed is recorded, subject to the title insurance policy exclusions and exceptions, provided the title company will issue
 359 the endorsement. If a gap endorsement or equivalent gap coverage is not available, Buyer may give written notice that title is not acceptable for
 360 closing (see lines 365-371).

361 ■ **PROVISION OF MERCHANTABLE TITLE:** For purposes of closing, title evidence shall be acceptable if the required title insurance
 362 commitment is delivered to Buyer's attorney or Buyer not more than _____ days after acceptance ("15" if left blank), showing title to the
 363 Property as of a date no more than 15 days before delivery of such title evidence to be merchantable per lines 341-348, subject only to liens which
 364 will be paid out of the proceeds of closing and standard title insurance requirements and exceptions, as appropriate.

365 ■ **TITLE NOT ACCEPTABLE FOR CLOSING:** If title is not acceptable for closing, Buyer shall notify Seller in writing of objections to title within
 366 _____ days ("15" if left blank) after delivery of the title commitment to Buyer or Buyer's attorney. In such event, Seller shall have a
 367 reasonable time, but not exceeding _____ days ("5" if left blank), from Buyer's delivery of the notice stating title objections, to deliver
 368 notice to Buyer stating Seller's election to remove the objections by the time set for closing. In the event that Seller is unable to remove said
 369 objections, Buyer may deliver to Seller written notice waiving the objections, and the time for closing shall be extended accordingly. If Buyer does
 370 not waive the objections, Buyer shall deliver written notice of termination and this Offer shall be null and void. Providing title evidence acceptable
 371 for closing does not extinguish Seller's obligations to give merchantable title to Buyer.

372 ■ **SPECIAL ASSESSMENTS/OTHER EXPENSES:** Special assessments, if any, levied or for work actually commenced prior to the date of this
 373 Offer shall be paid by Seller no later than closing. All other special assessments shall be paid by Buyer.

374 **CAUTION: Consider a special agreement if area assessments, property owners association assessments, special charges for current**
 375 **services under Wis. Stat. § 66.0627 or other expenses are contemplated. "Other expenses" are one-time charges or ongoing use fees**
 376 **for public improvements (other than those resulting in special assessments) relating to curb, gutter, street, sidewalk, municipal water,**
 377 **sanitary and storm water and storm sewer (including all sewer mains and hook-up/connection and interceptor charges), parks, street**
 378 **lighting and street trees, and impact fees for other public facilities, as defined in Wis. Stat. § 66.0617(1)(f).**

379 **ENVIRONMENTAL EVALUATION CONTINGENCY:** This Offer is contingent upon a qualified independent environmental consultant of
 380 Buyer's choice conducting an Environmental Site Assessment of the Property (see lines 288-302), at (Buyer's) (Seller's) expense **STRIKE ONE**
 381 ("Buyer's" if neither is stricken), which discloses no Defects. For the purpose of this contingency, a Defect (see lines 223-225) is defined to also
 382 include a material violation of environmental laws, a material contingent liability affecting the Property arising under any environmental laws, the
 383 presence of an underground storage tank(s) or material levels of hazardous substances either on the Property or presenting a significant risk of
 384 contaminating the Property due to future migration from other properties. Defects do not include conditions the nature and extent of which Buyer
 385 had actual knowledge or written notice before signing the Offer.

386 ■ **CONTINGENCY SATISFACTION:** This contingency shall be deemed satisfied unless Buyer, within _____ 90 _____ days of acceptance,
 387 delivers to Seller a copy of the Environmental Site Assessment report and a written notice listing the Defect(s) identified in the Environmental Site
 388 Assessment report to which Buyer objects (Notice of Defects).

389 **CAUTION: A proposed amendment is not a Notice of Defects and will not satisfy this notice requirement.**

390 ■ **RIGHT TO CURE:** Seller (~~shall~~) (shall not) **STRIKE ONE** ("shall" if neither is stricken) have a right to cure the Defects. If Seller has the right to
 391 cure, Seller may satisfy this contingency by: (1) delivering written notice to Buyer within 10 days of Buyer's delivery of the Notice of Defects stating
 392 Seller's election to cure Defects, (2) curing the Defects in a good and workmanlike manner and (3) delivering to Buyer a written report detailing the
 393 work done within 3 days prior to closing. This Offer shall be null and void if Buyer makes timely delivery of the Notice of Defects and written
 394 Environmental Site Assessment report and: (1) Seller does not have a right to cure or (2) Seller has a right to cure but: (a) Seller delivers written
 395 notice that Seller will not cure or (b) Seller does not timely deliver the written notice of election to cure.

396 **DEFAULT** Seller and Buyer each have the legal duty to use good faith and due diligence in completing the terms and conditions of this Offer. A
 397 material failure to perform any obligation under this Offer is a default which may subject the defaulting party to liability for damages or other legal
 398 remedies.

399 If **Buyer defaults**, Seller may:

- 400 (1) sue for specific performance and request the earnest money as partial payment of the purchase price; or
 401 (2) terminate the Offer and have the option to: (a) request the earnest money as liquidated damages; or (b) sue for actual damages.

402 If **Seller defaults**, Buyer may:

- 403 (1) sue for specific performance; or
 404 (2) terminate the Offer and request the return of the earnest money, sue for actual damages, or both.

405 In addition, the Parties may seek any other remedies available in law or equity.

406 The Parties understand that the availability of any judicial remedy will depend upon the circumstances of the situation and the discretion of the
 407 courts. If either Party defaults, the Parties may renegotiate the Offer or seek nonjudicial dispute resolution instead of the remedies outlined above.
 408 By agreeing to binding arbitration, the Parties may lose the right to litigate in a court of law those disputes covered by the arbitration agreement.

409 **NOTE: IF ACCEPTED, THIS OFFER CAN CREATE A LEGALLY ENFORCEABLE CONTRACT. BOTH PARTIES SHOULD READ THIS**
 410 **DOCUMENT CAREFULLY. BROKERS MAY PROVIDE A GENERAL EXPLANATION OF THE PROVISIONS OF THE OFFER BUT ARE**
 411 **PROHIBITED BY LAW FROM GIVING ADVICE OR OPINIONS CONCERNING YOUR LEGAL RIGHTS UNDER THIS OFFER OR HOW TITLE**
 412 **SHOULD BE TAKEN AT CLOSING. AN ATTORNEY SHOULD BE CONSULTED IF LEGAL ADVICE IS NEEDED.**

413 **ENTIRE CONTRACT** This Offer, including any amendments to it, contains the entire agreement of the Buyer and Seller regarding the
 414 transaction. All prior negotiations and discussions have been merged into this Offer. This agreement binds and inures to the benefit of the Parties
 415 to this Offer and their successors in interest.

416 **PROPERTY DIMENSIONS AND SURVEYS** Buyer acknowledges that any land, building or room dimensions, or total acreage or building square
 417 footage figures, provided to Buyer by Seller or by a broker, may be approximate because of rounding, formulas used or other reasons, unless
 418 verified by survey or other means.

419 **CAUTION: Buyer should verify total square footage or acreage figures and land, building or room dimensions, if material to Buyer's**
 420 **decision to purchase.**

421 **BUYER'S PRE-CLOSING WALK-THROUGH** Within 3 days prior to closing, at a reasonable time pre-approved by Seller or Seller's agent, Buyer
 422 shall have the right to walk through the Property to determine that there has been no significant change in the condition of the Property, except for
 423 ordinary wear and tear and changes approved by Buyer, and that any Defects Seller has agreed to cure have been repaired in the manner agreed
 424 to by the Parties.

425 **PROPERTY DAMAGE BETWEEN ACCEPTANCE AND CLOSING** Seller shall maintain the Property until the earlier of closing or occupancy of
 426 Buyer in materially the same condition as of the date of acceptance of this Offer, except for ordinary wear and tear. If, prior to closing, the Property
 427 is damaged in an amount of not more than five percent (5%) of the selling price, Seller shall be obligated to repair the Property and restore it to
 428 the same condition that it was on the day of this Offer. No later than closing, Seller shall provide Buyer with lien waivers for all lienable repairs and
 429 restoration. If the damage shall exceed such sum, Seller shall promptly notify Buyer in writing of the damage and this Offer may be canceled at
 430 option of Buyer. Should Buyer elect to carry out this Offer despite such damage, Buyer shall be entitled to the insurance proceeds, if any, relating
 431 to the damage to the Property, plus a credit towards the purchase price equal to the amount of Seller's deductible on such policy, if any. However,
 432 if this sale is financed by a land contract or a mortgage to Seller, any insurance proceeds shall be held in trust for the sold purpose of restoring the
 433 Property.

434 **NOTICE ABOUT SEX OFFENDER REGISTRY** You may obtain information about the sex offender registry and persons registered with the
 435 registry by contacting the Wisconsin Department of Corrections on the Internet at <http://www.widocoffenders.org> or by telephone at
 436 (608) 240-5830.

437 **INSPECTIONS AND TESTING** Buyer may only conduct inspections or tests if specific contingencies are included as a part of this Offer. An
 438 "inspection" is defined as an observation of the Property which does not include an appraisal or testing of the Property, other than testing for
 439 leaking carbon monoxide, or testing for leaking LP gas or natural gas used as a fuel source, which are hereby authorized. A "test" is defined as
 440 the taking of samples of materials such as soils, water, air or building materials from the Property and the laboratory or other analysis of these
 441 materials. Seller agrees to allow Buyer's inspectors, testers, appraisers and qualified third parties reasonable access to the Property upon
 442 advance notice, if necessary to satisfy the contingencies in this Offer. Buyer and licensees may be present at all inspections and testing. Except
 443 as otherwise provided, Seller's authorization for inspections does not authorize Buyer to conduct testing of the Property.

444 **NOTE: Any contingency authorizing testing should specify the areas of the Property to be tested, the purpose of the test, (e.g., to**
 445 **determine if environmental contamination is present), any limitations on Buyer's testing and any other material terms of the**
 446 **contingency.**

447 Buyer agrees to promptly restore the Property to its original condition after Buyer's inspections and testing are completed unless otherwise agreed
 448 to with Seller. Buyer agrees to promptly provide copies of all inspection and testing reports to Seller. Seller acknowledges that certain inspections
 449 or tests may detect environmental pollution which may be required to be reported to the Wisconsin Department of Natural Resources.

Property Address: 5600 W Bradley Rd, Brown Deer, WI 53223-3510

450 **INSPECTION CONTINGENCY:** This contingency only authorizes inspections, not testing (see lines 437-449). This Offer is contingent upon
451 a qualified independent inspector(s) conducting an inspection(s) of the Property which discloses no Defects. This Offer is further contingent upon
452 a qualified independent inspector or qualified independent third party performing an inspection of entire premises
453 _____

454 _____ (list any Property feature(s) to be separately inspected, e.g., dumpsite, etc.) which
455 discloses no Defects. Buyer shall order the inspection(s) and be responsible for all costs of inspection(s). Buyer may have follow-up inspections
456 recommended in a written report resulting from an authorized inspection performed provided they occur prior to the deadline specified at line 461.
457 Each inspection shall be performed by a qualified independent inspector or qualified independent third party.

458 **CAUTION: Buyer should provide sufficient time for the primary inspection and/or any specialized inspection(s), as well as any follow-up
inspection(s).**

459 For the purpose of this contingency, Defects (see lines 223-225) do not include conditions the nature and extent of which Buyer had actual
460 knowledge or written notice before signing the Offer.

461 **CONTINGENCY SATISFACTION:** This contingency shall be deemed satisfied unless Buyer, within 90 days of acceptance,
462 delivers to Seller a copy of the inspection report(s) and a written notice listing the Defect(s) identified in the inspection report(s) to which Buyer
463 objects (Notice of Defects).

464 **CAUTION: A proposed amendment is not a Notice of Defects and will not satisfy this notice requirement.**

465 **RIGHT TO CURE:** Seller ~~shall~~ (shall not) **[STRIKE ONE]** ("shall" if neither is stricken) have a right to cure the Defects. If Seller has the right to
466 cure, Seller may satisfy this contingency by: (1) delivering written notice to Buyer within 10 days of Buyer's delivery of the Notice of Defects stating
467 Seller's election to cure Defects, (2) curing the Defects in a good and workmanlike manner and (3) delivering to Buyer a written report detailing the
468 work done within 3 days prior to closing. This Offer shall be null and void if Buyer makes timely delivery of the Notice of Defects and written
469 inspection report(s) and: (1) Seller does not have a right to cure or (2) Seller has a right to cure but: (a) Seller delivers written notice that Seller will
470 not cure or (b) Seller does not timely deliver the written notice of election to cure.

471 **CLOSING OF BUYER'S PROPERTY CONTINGENCY:** This Offer is contingent upon the closing of the sale of Buyer's property located at
472 _____, no later than _____. If Seller accepts a bona fide secondary offer,
473 Seller may give written notice to Buyer of acceptance. If Buyer does not deliver to Seller a written waiver of the Closing of Buyer's Property
474 Contingency and _____
475 _____

476 **[INSERT OTHER REQUIREMENTS, IF ANY (e.g., PAYMENT OF ADDITIONAL EARNEST MONEY, WAIVER OF ALL CONTINGENCIES, OR
477 PROVIDING EVIDENCE OF SALE OR BRIDGE LOAN, etc.)]** within _____ hours of Buyer's Actual Receipt of said notice, this Offer shall be
478 null and void.

479 **ADDENDA:** The attached _____ is/are made part of this Offer.

480 This Offer was drafted by [Licensee and Firm] Attorney Daniel M. Chudnow, Chudnow Law Offices, LLC
481 _____ on _____

482 Buyer Entity Name (if any): Shalom Baptist Church

483 (X) Thomas J. Esert Thomas J. Esert, President 11/20/19
484 Buyer's/Authorized Signature ▲ Print Name/Title Here ▶ Date ▲

485 (X) Harry Schroeder Harry Schroeder, Vice President 11/20/19
486 Buyer's/Authorized Signature ▲ Print Name/Title Here ▶ Date ▲

487 **[EARNEST MONEY RECEIPT]** Broker acknowledges receipt of earnest money as per line 10 of the above Offer.

488 _____ Broker (By) _____

489 **SELLER ACCEPTS THIS OFFER. THE WARRANTIES, REPRESENTATIONS AND COVENANTS MADE IN THIS OFFER SURVIVE CLOSING
490 AND THE CONVEYANCE OF THE PROPERTY. SELLER AGREES TO CONVEY THE PROPERTY ON THE TERMS AND CONDITIONS AS
491 SET FORTH HEREIN AND ACKNOWLEDGES RECEIPT OF A COPY OF THIS OFFER.**

492 Seller Entity Name (if any): _____

493 (X) _____
494 Seller's/Authorized Signature ▲ Print Name/Title Here ▶ Date ▲

495 (X) _____
496 Seller's/Authorized Signature ▲ Print Name/Title Here ▶ Date ▲

497 This Offer was presented to Seller by [Licensee and Firm] _____
498 _____ on _____ at _____ a.m./p.m.

499 This Offer is rejected _____ This Offer is countered [See attached counter] _____
500 Seller Initials ▲ Date ▲ Seller Initials ▲ Date ▲

Addendum "A"

1. Seller agrees to reimburse buyer for the cost of a fire sprinkler system should it be required by governmental authorities at closing. Should a sprinkler system be required after closing the costs of said sprinkler system shall be buyer's full responsibility.
2. Buyer agrees upon written acceptance of Offer to make prompt application for a variance for the fire sprinkler requirement from the State of Wisconsin. Seller agrees to assist buyer with application and approval process.
3. Seller shall be allowed additional occupancy of the building post closing subject to a lease between the parties which will expire no later than 3/31/21. Terms of lease shall include a credit at closing for the amount of \$8,400.00 to cover the buyer's mortgage interest, plus the seller shall cover utilities and maintenance for the property during occupancy. Seller shall be allowed to terminate lease early subject to 30 days written notice to buyer.
4. Buyer shall have the right to extend the closing upon 10 days advance written notice to seller up to two times for 60 days each extension period.
5. Buyer shall also be allowed limited occupancy pre-closing as well as during the lease period on Tuesday evenings and Sundays for Church activities without paying rent.
6. In addition to the fire sprinkler clause above, any governmental requirements for buyer's occupancy cannot exceed \$25,000.00, or seller shall provide an additional credit at closing to cover those costs.
7. The offer is contingent upon buyer's congregational approval within 30 days of acceptance.

December 12, 2019

Dear Brown Deer Village President-Wanda Montgomery and Village Trustees,

The Village and School District have a long history of a cooperative relationship that has worked to provide exceptional services for the constituents of Brown Deer in a fiscally prudent manner. An example of such a cooperative relationship was the District's decision on January 24, 1977, to transfer the property (for free) now identified as the Village Library to the Village. The District's School Board is aware that the Village is intending to sell the Village Library and the District is interested in possible acquisition of the Village Library that is on the school district campus.

Due to statutory requirements, the District must first receive elector authorization underneath Wis. Stats. 120.10(5m) in order for the District to acquire the Village Library. The special meeting statutory requirements have specific notification requirements underneath Wis. Stats. 120.08(2) that must be provided to the electors before the authorization can be received from the electors to acquire the Village Library. Please see below:

Wisconsin State Statutes 120.08(2) Special meeting.

(a) Upon petition filed with the school district clerk signed by 3 percent of the electors residing in the school district or 100 electors, whichever is fewer, or upon the motion of the school board in a common or union high school district, a special meeting shall be called by the school district clerk or, in his or her absence, by the school district president or school district treasurer. If the petition includes a subject beyond the power of the special meeting to transact, the school district clerk shall reject such subject and so notify each elector signing the petition.

(b) Notice of a special meeting shall be published as a class 2 notice, under ch. [985](#). The last insertion shall be not more than 8 days nor less than one day before the day of the special meeting. If no hour for the special meeting is fixed in the notice, it shall be held at 8 p.m.

(c) A special meeting has the powers of the annual meeting. No more than 2 special meetings may be held between annual meetings to consider or act upon the same subject, except that in counties having a population of 750,000 or more no more than 4 such meetings may be held. No tax may be voted at a special meeting, unless notice thereof is included in the notice under par. [\(b\)](#). The amount of the tax proposed to be voted shall be set forth in the notice. The special meeting may vote a tax of a lesser amount than stated in the notice, but not a greater amount.

In light of the above, we respectfully request the Village Board consider delaying the approval of the contract with the Shalom Baptist Church for ninety (90) days. This delay would provide the school district time to work with the community to determine the best use of the facility and comply with the above statutory timelines for the acquisition of the property. In addition, such a delay would allow the District and Village time to work in together in good faith to determine the best long-term solution for the Library and property which is on the school district campus.

Additionally, if the Village of Brown Deer is not able to delay the contract approval with the Shalom Baptist Church at this time, the School Board respectfully requests an amendment to the sales contract that would provide the District the first right of refusal to acquire the former library property should the Church sell the property in the future.

Thank you for your consideration of this request.

Sincerely,

Dr. Deb Kerr

Dr. Deb Kerr
District Administrator

Kevin Klimek

Kevin Klimek
Brown Deer School Board President

Cc: Michael Hall, Village Manager
Brown Deer School Board Members
Robert Butler, Wisconsin Association of School Boards Legal Counsel

**AGREEMENT FOR VILLAGE ATTORNEY LEGAL SERVICES
BETWEEN
VILLAGE OF BROWN DEER
AND
FUCHS & BOYLE, S.C.**

1. PARTIES AND DATE.

This Agreement is made and entered into as of the 17th day of December, 2019, by and between the Village of Brown Deer, a municipal Corporation (“Client”) and Fuchs & Boyle, S.C., a limited liability partnership engaged in the practice of law (“F&B”).

2. RECITALS.

2.1 Client has appointed Attorney John F. Fuchs as its Village Attorney pursuant to Sections 2-245 and 2-245 of the Brown Deer Village Code.

2.2 Client wishes to engage the service of the Village Attorney through his law firm, Fuchs and Boyle, S.C. hereinafter F&B to perform necessary legal services for the Client on the terms and in the scope as set forth below.

3. TERMS.

3.1 Term. The term of this Agreement shall commence on January 1, 2020, and shall continue in full force and effect until December 31, 2022.

3.2 Scope of Services. F&B shall serve as Village Attorney and shall perform legal services (“Services”) as may be required from time to time by the Client and as set forth by this Agreement, unless otherwise agreed to by the Client and F&B. Services to be performed hereunder, without limitation by enumeration herein, shall include the following:

3.2.1 Preparation for, and attendance at Board, Commission, and Committee meetings as the nature of such meetings may require;

3.2.2 Provision of legal counsel at such other meetings or conferences as directed by the Client;

3.2.3 Preparation or review of all Client Ordinances and Resolutions, together with such staff reports, orders, agreements, forms, notices, declarations, certificates, deeds, leases and other documents requested by the Client;

3.2.4 Rendering to the Trustees, Department Heads, and all other Boards Commissions, Committees or Employees of the Client, legal advice and opinions on all legal matters affecting the Client, including new legislation and court decisions, as directed by the Client;

3.2.5 Researching and interpreting laws, court decisions and other legal authorities in order to prepare legal opinions and to advise the Client on the legal matters pertaining to Client operations, as directed by the Client;

3.2.6 Performing legal work pertaining to property acquisition, property disposal, public improvements, public right-of-way and easements, as directed by the Client;

3.2.7 Responding to inquiries and review for legal sufficiency of ordinances, resolutions, contracts, and administrative and personnel matters, as directed by the Client;

3.2.8 Representing and assisting on litigation matters, as directed by the Client. Such services shall include, but shall not be limited to the preparation for and making of appearances, including preparing pleadings and petitions, making oral presentations, and preparing answers, briefs or other documents on behalf of the Client, and any Officer or Employee of the Client, in all Federal and State Courts of this State, and before any governmental board or commissions, including reviewing, defending or assisting any insurer of the Client or its Agents or Attorneys with respect to any Lawsuit filed against the Client or any Officer or Employee thereof, for money or damages.

3.2.9 Open Records Requests, Claims, Collections, Municipal Court Prosecutions, Police Department Inquiries and Procedures, Elections issues, Administrative hearings relating to zoning, assessment, licensing, and employment issues, and utility matters.

3.2.10 Contract negotiation matters.

3.2.11 Acquisition, disposal, and resolution of real estate, easements, right-of-way's, leases, licenses, and other property transactions.

3.2.12 Tax Incremental Financing District matters, land use, development and environmental issues.

3.2.13 Public works/capital contracts and related requirements of the Wisconsin Uniform Construction Cost Accounting Code.

3.2.14 Personnel and disability law matters.

3.2.15 Employee relations and labor matters.

3.2.16 Fee collection, cost recovery, and ratemaking or implementation of any another state or federal mandates.

3.2.17 Code enforcement matters.

3.2.18 Tort liability and risk management matters.

3.2.19 Fees, taxes, and assessment matters.

3.2.20 Redevelopment dissolution matters.

3.2.21 Litigation and formal administrative or other adjudicatory hearing matters.

3.2.22 Telecommunication matters.

3.2.23 Advocacy matters (e.g., legislative and regulatory).

3.2.24 Other matters mutually agreed upon between F&B and the Village.

The parties acknowledge that there are various needs for special counsel. Such matters include bond counsel, complex or specialized issues relating to environmental, public service commission, eminent domain or other matters as may from time to time arise, conflicts such as the retention of separate counsel for the Chief or Assessor in hearing matters, or labor counsel as to discipline and collective bargaining. F&B shall timely bring such matters to the attention of the Village Board which shall have the sole authority for the selection and retention of special counsel. F&B shall provide its best recommendations for retention to the Village Board.

3.3 Designated Village Attorney. John F. Fuchs shall be designated as Village Attorney, and shall be responsible for the performance of all Services under this Agreement, including, the supervision of Services performed by the other members of F&B. Rebecca D. Boyle shall be designated as Village Prosecutor and Assistant Village Attorney, and shall attend such meetings as may be requested by the Village Attorney.

3.4 Time of Performance. The services of F&B shall be performed expeditiously in the time frames as directed by the Client.

3.5 Assistance. The Client agrees to provide all information and documents necessary for the Attorneys at F&B to perform their obligations under this Agreement.

3.6 Independent Contractor. F&B shall perform all legal services required under this Agreement as an independent contractor of the Client and shall remain, at all times as to the Client, a wholly independent contractor with only such obligations as are required under this Agreement. Neither the Client, nor any of its employees, shall have any control over the manner, mode or means by which F&B, its agents or employees, render the legal services required under this Agreement, set as otherwise set forth. The Client shall have no voice in the selection, discharge, supervision or control of F&B's employees, representatives or agents, or in fixing their number, compensation, or hours of service.

3.7 Fees and Costs. F&B shall render and bill legal services based upon a set yearly retainer, and shall expend such hours as necessary to competently and timely perform all necessary tasks. Fees shall be invoiced and paid monthly in twelve installments based upon the following yearly amounts:

2020 - \$147,116.13

2021 - \$149,322.87

2022 - \$151,562.71

F&B shall absorb and pay on its own all internal operational costs including office, education costs, secretarial, and telephone copying, postage and supplies. Client shall pay non operational out of pocket costs such as shipping, recording fees, and application and filing fees. If such fees are paid in advance by F&B reimbursement shall be paid with the monthly invoice upon which such costs are submitted to client.

3.8 Billing. F&B shall submit monthly to the Client an invoice for services. The Client shall pay F&B for services rendered and costs incurred, as provided for in this Agreement, on a monthly basis.

3.9 Indemnification. F&B and its member attorneys are Village officials and subject to all procedures, limitations, and entitlements as set forth in Chapter 893 of the Wisconsin statutes.

3.11 Attorney-Client Privilege. Confidential communication between the Client and F&B shall be covered by the Attorney-Client privilege. As used in this article, “confidential communication” means information transmitted between the Client and F&B in the course of the relationship covered by this Agreement and in confidence by a means that, so far as the Client is aware, discloses the information to no third persons other than those who are present to further the interests of the Client in the consultation or those to whom disclosure is reasonably necessary for the transmission of the information or the accomplishment of the purpose for which F&B is consulted, and includes any legal opinion formed and advice given by F&B in the course of this relationship.

3.12 Termination of Agreement and Legal Services. This agreement is for a three year term as provided by ordinance and creates no expectation or right to renewal which shall remain in the sole discretion of the Village Board. It shall also terminate upon the retirement, or death, of John F. Fuchs. F&B, and its member attorneys are removable for cause under Section 17.13 of the Wisconsin Statutes. Proceedings for removal shall suspend this agreement and removal shall constitute immediate termination

3.13 Entire Agreement. This Agreement contains the entire Agreement of the parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings, or agreements.

3.14 Governing Law. This Agreement shall be governed by the laws of the State of Wisconsin. Venue shall be in Milwaukee County.

3.15 Amendment: Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both parties.

3.16 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a party shall give the other party any contractual rights by custom, estoppel, or otherwise.

3.17 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.18 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

AGREEMENT FOR VILLAGE ATTORNEY LEGAL SERVICES BETWEEN
VILLAGE OF BROWN DEER AND FUCHS & BOYLE, S.C.

3.19 Delivery of Notices. All notices permitted or required under this Agreement notices shall be deemed made when personally delivered or when mail, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service. All notices permitted or required under this Agreement shall be given to the respective parties at the following address, or at such other address as the respective parties may provide in writing for this purpose:

Client: Village of Brown Deer
4800 W. Green Brook Drive
Brown Deer, WI 53223
ATTN: Village Manager

F&B: Fuchs & Boyle, S.C.
13500 Watertown Plank Road, Suite #100
Elm Grove, WI 53122

IN WITNESS WHEREOF, the Client and F&B have executed this Agreement for Village Attorney Legal Services as of the date first written above.

(signatures contained on following page)

SIGNATURE PAGE TO
AGREEMENT FOR VILLAGE ATTORNEY LEGAL SERVICES
BETWEEN
VILLAGE OF BROWN DEER
AND
FUCHS AND BOYLE, S.C.

VILLAGE OF BROWN DEER

ate: _____
Wanda Montgomery, Village President

By: _____

Date: _____

Attest: _____
Jill Kenda-Lubetski, Village Clerk

Date: _____

FUCHS & BOYLE, S.C.

By: _____
John F. Fuchs, President

Date: _____



REQUEST FOR CONSIDERATION

COMMITTEE:	Finance & Public Works, Village Board
ITEM DESCRIPTION:	Streetscaping Design w/ WisDOT STH 100 & STH 57 Projects
PREPARED BY:	Matthew S. Maederer, PE, Director of Public Works/Village Engineer
REPORT DATE:	November 27, 2019
MANAGER'S REVIEW/COMMENTS:	<input type="checkbox"/> No additional comments to this report. <input type="checkbox"/> See additional comments attached.
RECOMMENDATION:	Approve the Contract with Kapur & Associates, Inc. for Professional Landscape Architect Services for Streetscaping Design Plans as part of the WisDOT STH 100 Resurfacing Project and WisDOT STH 57 Urban Interchange Reconstruction Project(s).
EXPLANATION:	Two (2) WisDOT projects will occur in back-to-back years on STH 100 (W. Brown Deer Road) from N. 68 th Street east to the RR tracks and on STH 57 (N. Green Bay Road) from N. Teutonia Avenue/CTH D north to W. County Line Road (continuing north into Mequon). The project details are as follows:
	<p><u>STH 57 Reconstruction – Project ID No. 2270-04-70 & 2270-07-70</u></p> <ul style="list-style-type: none"> • Limits: <ul style="list-style-type: none"> ○ N. Teutonia Avenue/CTH D to W. County Line Road (continues north into Mequon) ○ STH 100 East Village Limits (Milwaukee River) to 100-ft West of RR Tracks • Description: <ul style="list-style-type: none"> ○ Full roadway reconstruction ○ Urban Interchange Removal ○ Signalized Intersection Construction ○ Roundabout Construction • Construction Year: 2022 <p><u>STH 100 Reconstruction – Project ID No. 2150-00-71</u></p> <ul style="list-style-type: none"> • Limits: <ul style="list-style-type: none"> ○ N. 91st Street to 100-ft W. of RR Tracks ○ Roadway Resurfacing ○ Intersection Improvements ○ Sidewalk Additions (south side of STH 100) • Construction Year: 2021

As part of the WisDOT projects described above a concept streetscaping plan was developed for each project into one master plan. All items will be Village funded and the concept developed has a construction budget of \$2.5 million which was included in the 2020-2024 CIP.

Kapur & Associates was the civil engineering firm who completed the Phase I concepting under separate contract for the Village (approved in August of 2018 and completed in July of 2019). Kapur is also the civil engineering firm working for WisDOT as part of the STH 57 reconstruction project. Kapur will ensure the design plans meet the DOT project plan deliverable requirements and bidding document/special provision requirements.

The streetscaping design was broken-up into two (2) phases:

Phase 1 – Concepting - COMPLETE

- Develop three (3) concepts with cost estimates for presentation to the Board
- The Board adopted the final concept in July of 2019

Phase 2 – Design Plan Preparation

- Design Plan Preparation (60%, 90% and Final)
- Bidding Document Preparation (PS&E)

Staff is asking for approval of the Phase 2 scope of services now that Phase 1 is complete.

FUNDING: The streetscape project design was included in the 2019 CIP. However due to schedule delays the work was not completed and thus scheduled for 2020 following the WisDOT design schedule. The Kapur contract is for **\$33,056** and the CIP budget is **\$50,000**.

CONCLUSION: Staff requests recommendation for approval of the contract with Kapur for streetscaping phase 2 services (design plan prep).

Attachments:

- Kapur Contract
- CIP Excerpts
- Summary of DOT Cost Share Policy
- Phase 1 Concept
 - Exhibits
 - Cost Estimate

November 22, 2019

Village of Brown Deer Streetscaping Phase II – DOT Construction Plans
Wanda Montgomery
Village President
4800 West Green Brook Drive
Brown Deer, WI 53223

RE: Village of Brown Deer Streetscaping Phase II – DOT Construction Plans
Scope for Professional Survey and Landscape Architecture Services

Dear Wanda:

Kapur is pleased to submit this scope for professional survey and landscape services for the Village of Brown Deer. Kapur is committed on collaborating with the Village of Brown Deer to create exceptional results that are coordinated with the Wisconsin Department of Transportation Roadway work. We are confident that we will meet your schedule and provide a design exceeding your expectations. The base scope of services are as follows:

TOPOGRAPHIC SURVEY

Kapur will provide topographic survey as required for the 66th, 60th, and 51st street and Brown Deer Road intersections. We will determine existing grades and all above ground features that may be affected by the project.

1. Task 1: Survey
 - a. Site topography will be collected at the NW and NE curb lines and sidewalks at the above-mentioned intersections. This will include the existing conditions of Flange lines, Flow lines and back of curb with curb cuts. Kapur will also locate the existing ADA ramps with the first 2 or 3 concrete panels adjacent.
 - b. Kapur will deliver survey data per WisDOT SE Region requirements.
 - c. This proposal does not include a boundary survey, CSM, easements, platting, environmental investigation (i.e. Phase 1, Phase 2 environmental reports), geotechnical analysis, site lighting, traffic impact analysis, wetland delineation, utility location, measure-downs, construction survey, as-built survey, or construction inspection. We can provide a scope and fee for these items if they become part of the project.

LANDSCAPE ARCHITECTURE

Create construction documents from the finalized phase I concept that delineates the Village boundaries, enhances and announces major entry points, creates a uniform and cohesive landscape and amenity design that defines the village and distinguishes it from surrounding municipalities, and assist with wayfinding to promote selected areas of development within the Village. Specific items include:

1. Task 2: Construction Documents:
 - a. Review current plan stages of proposed WisDOT and village roadway improvement projects
 - b. Attend up to 6 coordination meetings in the Milwaukee Area.
 - c. Coordinate with WisDOT to provide landscape plans, details, specifications, and specials in WisDOT format for the 75% (Review), 90% (Draft PS&E) and Final PS&E plans.
 - d. Provide updated renderings for a spring 2020 PIM.
 - e. Provide a cost estimate with Draft PS&E and Final PS&E Submittals.
 - f. Respond to Addenda and bidders' questions during the bidding phase.





PROPOSED SCHEDULE (TO BE DISCUSSED)

Note: Major Milestones are indicated below, review milestones and meetings for various design phases and client reviews to be determined by group.

<u>Milestone:</u>	<u>Date (or N/A if not applicable):</u>
75% Review	February 14, 2020
Public Information Meeting	Spring 2020 – T.B.D.
90% PS&E	May 15, 2020
Final PS&E	August 1, 2020

FEES

▪ Site Streetscaping – Task 1 Survey	<u>Lump Sum Fee of</u>	<u>\$2,690</u>
▪ Site Streetscaping – Task 2 Construction Documents	<u>Lump Sum Fee of</u>	<u>\$30,366</u>
	<u>Total Lump Sum Fee</u>	<u>\$33,056</u>

These fees are determined based upon our understanding of the project as described in this proposal. Expansion or changes to the scope of work, performance time, or unanticipated site conditions may require a contract amendment. Revisions requested by the Owner that affect the design after the deliverables have been issued are considered extra services. Revisions based on technical review comments by the governing agencies are included.

Thank you for the opportunity to submit this proposal. We look forward to working with you on this project. Should you have any questions, or require further information, please call me at (414) 751-7247 or email: kbyrne@kapurinc.com.

Receipt of a signed copy of this document will constitute an executed agreement.

For Kapur & Associates, Inc.

For the Village of Brown Deer

By: Kevin Byrne
Kevin Byrne, PLA
Associate

By: _____
Wanda Montgomery
Village President

Date: 11/22/2019

Date: _____



Project Description	Project Number	2019 Project Requests	GO Debt	Property Tax Levy	Unfunded Requests	Actual
Available Funds			\$1,165,000	\$372,000		
Community Services						
Cracksealing	CS-19-01	\$20,000	\$20,000			\$20,000
Re-Paving Program	CS-19-02	\$500,000	\$500,000			\$500,000
API Park (Clean up and Planning)	CS-19-03	\$75,000	\$75,000			Repurpose
Green Bay / Brown Deer Streetscape	CS-19-04	\$50,000	\$50,000			\$50,000
Digital Files	CS-19-05	\$17,000		\$17,000		
Sidewalk Connect		\$225,000			\$225,000	
Police Department						
Police Vehicles	PD-19-01	\$120,000		\$120,000		\$120,000
Body Armor	PD-19-02	\$14,000		\$14,000		\$14,000
Squad Video Cameras	PD-19-03	\$30,000		\$30,000		\$30,000
Automatic License Plate Reader		\$18,000			\$18,000	
Fire Department						
Annual contribution for capital	FD-19-01	\$208,144	\$208,144			\$208,144
Dispatch Center						
Annual contribution for capital	DC-19-01	\$28,000	\$28,000			\$28,000
Manager's Office						
Computer replacement program	MO-19-01	\$12,000		\$12,000		\$12,000
Window Replacement	MO-19-02	\$15,000		\$15,000		Repurpose
Door Frame Replacement	MO-19-03	\$6,000		\$6,000		Repurpose
Library						
		\$0				
Park and Recreation						
Community Center Painting Interior	PR-19-01	\$5,000		\$5,000		Pending
Fairy Chasm Ball Diamond	PR-19-02	\$5,000		\$5,000		\$0
Pond Valve	PR-19-03	\$3,000		\$3,000		\$6,988
Public Works						
Tractor Replacement	PW-19-01	\$60,000		\$60,000		\$60,000
Skidsteer	PW-19-02	\$65,000		\$65,000		\$65,000
Beautification Projects	PW-19-03	\$5,000			\$5,000	\$5,000
Shop Tools & Equipment	PW-19-04	\$15,000			\$15,000	\$15,000
Emerald Ash Borer Treatment	PW-19-05	\$20,000		\$20,000		\$20,000
Total		\$1,516,144	\$881,144	\$372,000	\$263,000	\$1,154,132

Project Description	Project Number	2022 Total Project Cost	GO Debt	Property Tax Levy	Grants	Unfunded Requests
Available Funds			\$4,073,000	\$372,000		
Community Services						
Cracksealing		\$20,000	\$20,000			
Re-Paving Program		\$500,000	\$500,000			
County Line Road (Joint project)		\$300,000	\$300,000			
Bradley Rd (East) RR Tracks - STH 57		\$500,000	\$500,000			
Green Bay / Brown Deer Streetscape		\$2,500,000	\$2,500,000			
API Park		\$130,000		\$130,000		
Police Department						
Police Vehicles		\$110,000		\$110,000		
Police Equipment		\$50,000		\$50,000		
Fire Department						
Annual contribution for capital		\$214,000	\$214,000			
Dispatch Center						
Annual contribution for capital		\$39,000	\$39,000			
Manager's Office						
Window Replacement		\$20,000		\$20,000		
Computer replacement program		\$12,000		\$12,000		
Library						
		\$0				
Park and Recreation						
Public Works						
Beautification Projects		\$10,000		\$10,000		
Shop Tools & Equipment		\$15,000		\$15,000		
Emerald Ash Borer Treatment		\$25,000		\$25,000		
Total						
		\$4,445,000	\$4,073,000	\$372,000	\$0	\$0
ala						
			\$0	\$0	\$0	

Document 1 – Summary of DOT Cost Share Policy/Non-Participating Letter

(See Chapter 25 of the Program Management Manual at <http://dotnet/pmm/03/tc3.pdf>)

A State Municipal Financial Agreement (SMFA or project agreement) is required when there is a Municipal cost share. Planning creates and manages the SMFA. This summary does not cover all conditions.

Replace Existing – Lighting/Sidewalks/Multi-use Paths

To DOT standards

- 100% DOT if impacted by roadway construction
- 100% Local if not impacted by roadway construction

Above DOT standards – decorative or enhancements elements

- Same cost share as above, except the Municipality pays 100% of costs above DOT standards (for decorative or enhancement costs).

New Construction – Lighting/Sidewalks/Multi-use Paths (where lighting or sidewalk does not exist)

Lighting must be continuous and to DOT standards for DOT cost share

- 50% DOT and 50% Municipality except for the following:
 - 100% DOT for round-about or traffic signal

Sidewalk/Multi-use Path, DOT standards – one per side of the roadway

- 80% DOT and 20% Municipality except for the following:
 - 100% DOT for reconstruction projects where Trans 75 requires sidewalk – **See Planning, State Statute changes may change this cost share**
 - 100% DOT for round-about or traffic signal

Lighting and sidewalk, decorative or enhancements elements

- Same cost share as above, except the Municipality pays 100% of above DOT standards

CSS (Community Sensitive Solutions – old CSD) – See Planning, State Statute prohibits state funding for CSS. Effective July 14, 2015

Parking Lanes

- 100% Municipality for pavement items in parking lane.
- Cost share of parking is a percentage of pavement items and are calculated by dividing the square footage of area that cars are allowed to park by the total square footage of pavement on the project.
- Pavement items need to be in a separate category.
- Pavement items include asphalt, concrete, base course, or any bid item that pertains to pavement.
- Pavement items DO NOT include: mobilization, curb and gutter, storm sewer, manholes, inlets, marking, etc. Base patching or other pavement items that aren't continuous are also not included.
- Parking area does not include pavement where a car cannot park (i.e. turn lanes, fire hydrant, driveways etc.)

Landscaping

- New Plantings – 80% DOT and 20% Municipality
- Woody plants (trees and shrubs)
- Perennials – not eligible for DOT funding
- Replacement trees – 100% DOT if removed for road construction
- Irrigation systems – not eligible for DOT funding

Non-Participating – work included in the DOT construction, but not required for DOT project

- 100% Municipality, utilities or construction of a local road
- Requires a letter of agreement, see attached sample

• Sidewalk Repairs

Non-Participating Letter

Non-participating work is defined as non-DOT required work, requested by the community and added to a WisDOT construction project. This work is funded 100% by the municipality and can include items such as sanitary, water utility work or roadway work not part of the state highway construction.

This letter can take the place of, or supplement the State Municipal Agreement (SMA or project agreement). Work that has a WisDOT cost share is not considered non-participating and a Non-participating Letter will not be accepted.

Non-participating work may have a negative impact on WisDOT's construction schedule and cost. The community should be encouraged to complete the work prior to the start of WisDOT construction. The project manager must review the municipalities request and can deny the request due to delay of DOT construction and/or increased costs. (i.e. DOT work without the non-participating work is scheduled to be completed in one year and the addition of the non-participating pushes the project completion into a second year, resulting in extra costs for remobilization, winter shutdown and cost uncertainties.

Municipality will be required to provide construction inspection and will still be required to pay for WisDOT oversight. For work over \$100,000 a separate construction ID will be created to capture reduced WisDOT oversight. The Municipality is required to provide construction oversight.

This letter should be on community letterhead and signed by a duly authorized official of the community. Address the letter to the project manager and a copy sent to Planning. As a minimum, the letter must contain all of the following information:

- Construction ID
- Project title
- Project limits
- Request for DOT to add the work
- Short description of the work
- Estimated costs –costs will be based upon actual contractor bid and oversight costs
- Agreement to pay for costs including labor, materials and DOT oversight

See Doc 2 for a sample letter.

If the municipalities request has been found acceptable, the project manager sends a letter to the municipality accepting the request, again with a copy sent to Planning.

Brown Deer Road Streetscaping



Brown Deer Road Streetscaping



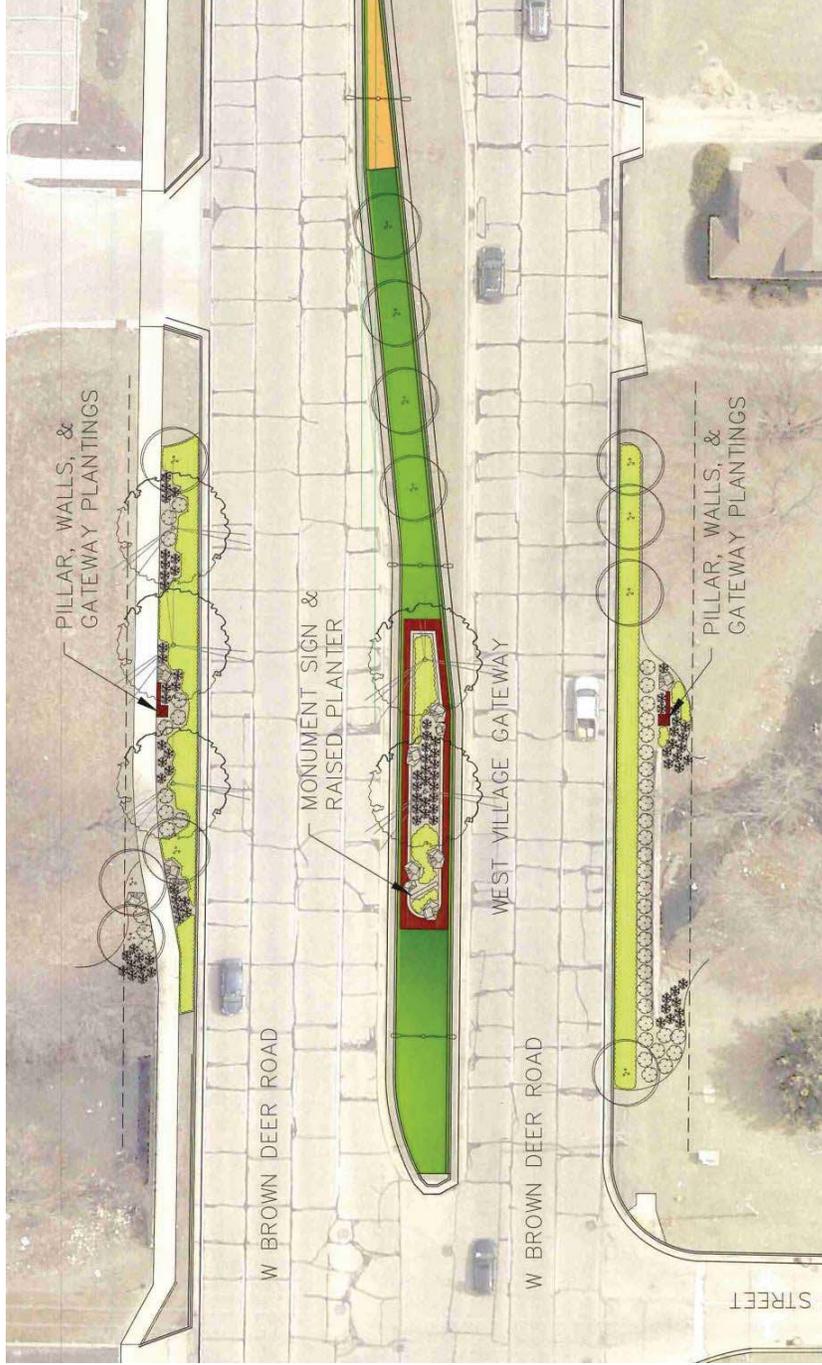
Overall



Brown Deer Road Streetscaping

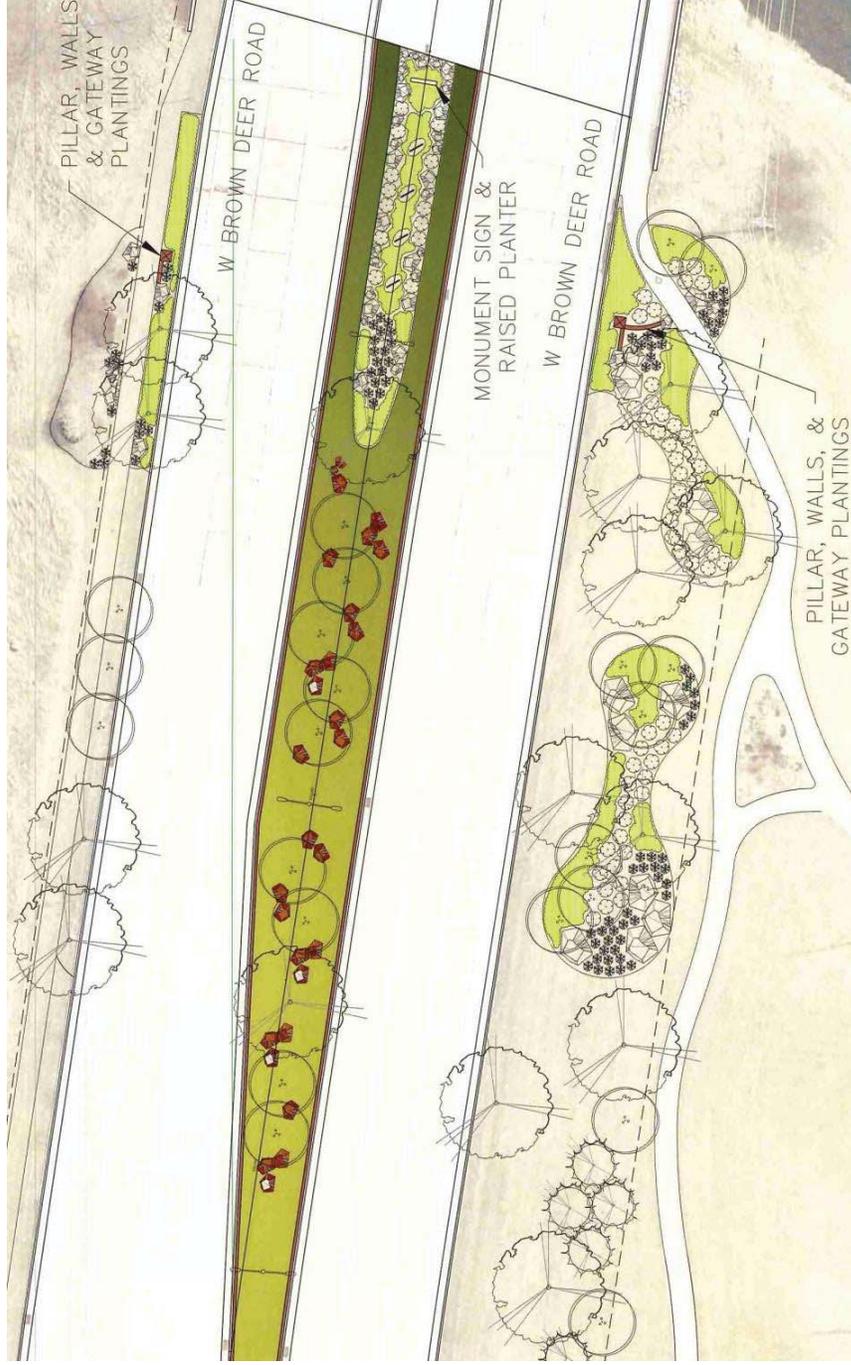


West Village Gateway



Brown Deer Road Streetscaping

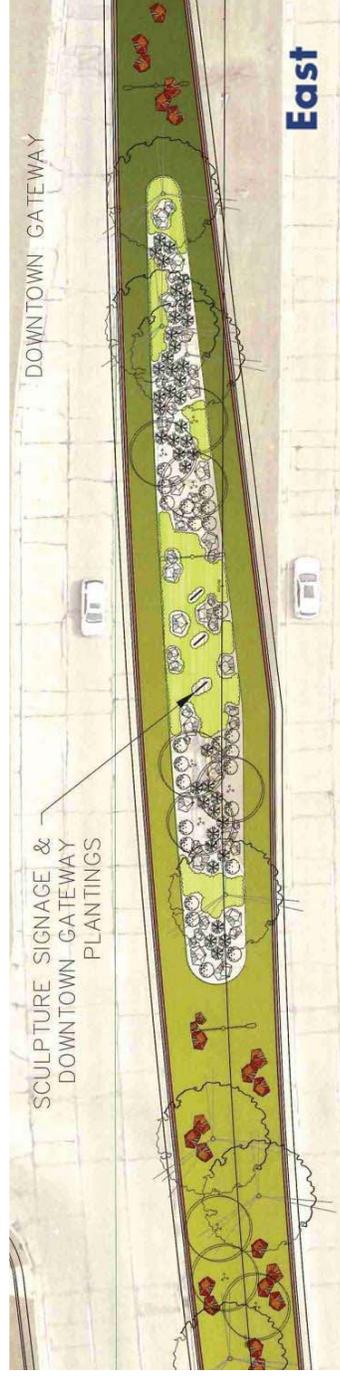
East Village Gateway



Brown Deer Road Streetscaping



Downtown Gateway



Brown Deer Road Streetscaping



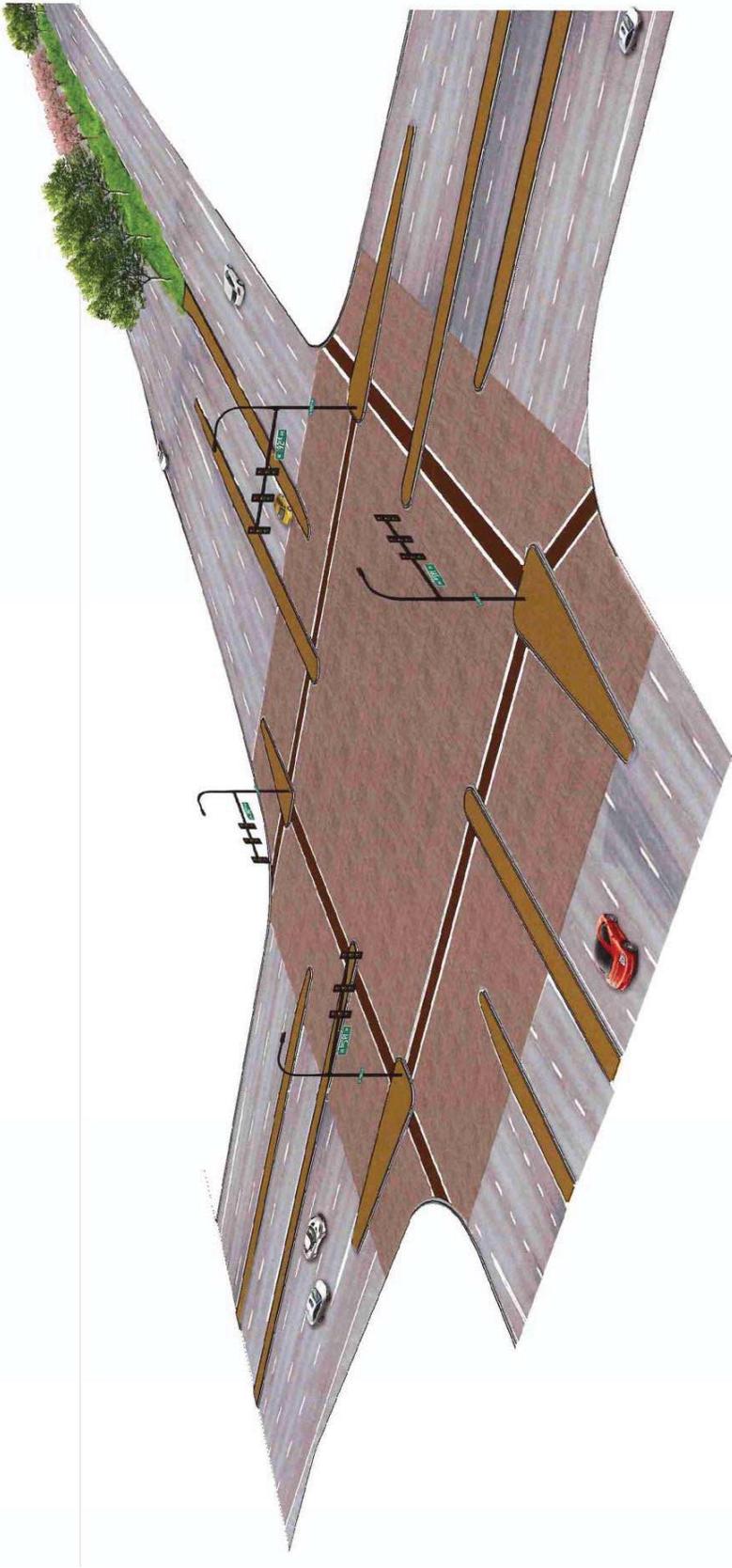
East Village Gateway



Brown Deer Road Streetscaping



Brown Deer Road / Green Bay Road Intersection



Brown Deer Road Streetscaping



Typical Median Planting

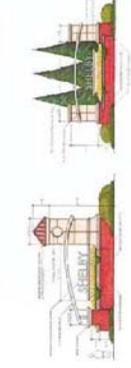


Brown Deer Road Streetscaping



Design Inspiration

- Colorful and repetitive median planting palettes throughout the street
 - Vase-shaped canopy trees to create lush main street
 - Bio-retention in certain medians
- Brown hues throughout various pavement mediums
 - decorative crosswalks
 - consistent sidewalk perimeter accent
- Updated amenities throughout the project
 - benches
 - trash receptacles
 - planters
 - lighting
 - signage



- New more prominent town entry signage





REQUEST FOR CONSIDERATION

COMMITTEE:	Finance & Public Works, Village Board
ITEM DESCRIPTION:	F-Street Group Development & Public Infrastructure Design Services (old DPW & Original Village Improvements)
PREPARED BY:	Matthew S. Maederer, PE, Director of Public Works/Village Engineer
REPORT DATE:	November 27, 2019
MANAGER'S REVIEW/COMMENTS:	<input type="checkbox"/> No additional comments to this report. <input type="checkbox"/> See additional comments attached.
RECOMMENDATION:	Approval of the Professional Services Agreement with Kapur Inc. for Design Services on the Public Improvements in the Original Village as part of the F-Street Group Development at the "Old" DPW
EXPLANATION:	<p>As part of the F-Street Group Development in the Original Village at the old DPW (8717 N. 43rd Street) public improvements outside the development limits are necessary.</p> <p>The proposed public improvements are as follows:</p> <ul style="list-style-type: none">• Parking Lot addition at the west end of River Lane• Sidewalk extension to River Lane and Ruth Place on the west side of N. 43rd Street (outside the development envelope)• Angle parking extension on the west side of Deerwood Drive (from Larry's Market south to Wade-Weissman/Peabody's). <p>The proposed public improvements are necessary to make logical connections from the development to nearby public infrastructure (i.e. sidewalk connection points). An increase in public parking is also desired due to the addition of the public amenities as part of the "public square" portion of the development project.</p> <p>The public improvement work will be paid for through 100% Village participation out of the annual roadway re-paving budget (annual budget = \$500,000). The work will be publicly bid separate from the development project per State statutes. Construction on the public portion of the work will occur in the summer of 2020.</p> <p>FUNDING: Funding was not originally included with the 2020-2024 CIP. The design fees will be paid for with the balance of the streetscaping budget and the operations budget for professional services (general fund).</p>

Funding Summary:

Streetscaping Design CIP Balance = \$16,944 (\$50,000 - \$33,056)

Professional Services Operational Budget = \$9,425.00 (G/L No. 010.360.31.5.20.20)

T B

T C

Balance = \$5,369.00

CONCLUSION: Staff requests recommendation for approval of the contract with Kapur for civil engineering design for the public improvements as part of the F-Street development project in the Original Village.

A

- Kapur Contract
- Development Exhibits



Thank you for the opportunity to submit this proposal. We look forward to working with you on this project. Should you have any questions, or require further information, please call me at 414-51-224 or email: tpere@kapurinc.com. Receipt of a signed copy of this document will constitute an executed agreement.

For Kapur

For Village of Brown Deer

By: _____

Thomas R. Pere, P.E.
Principal / Site Development Manager

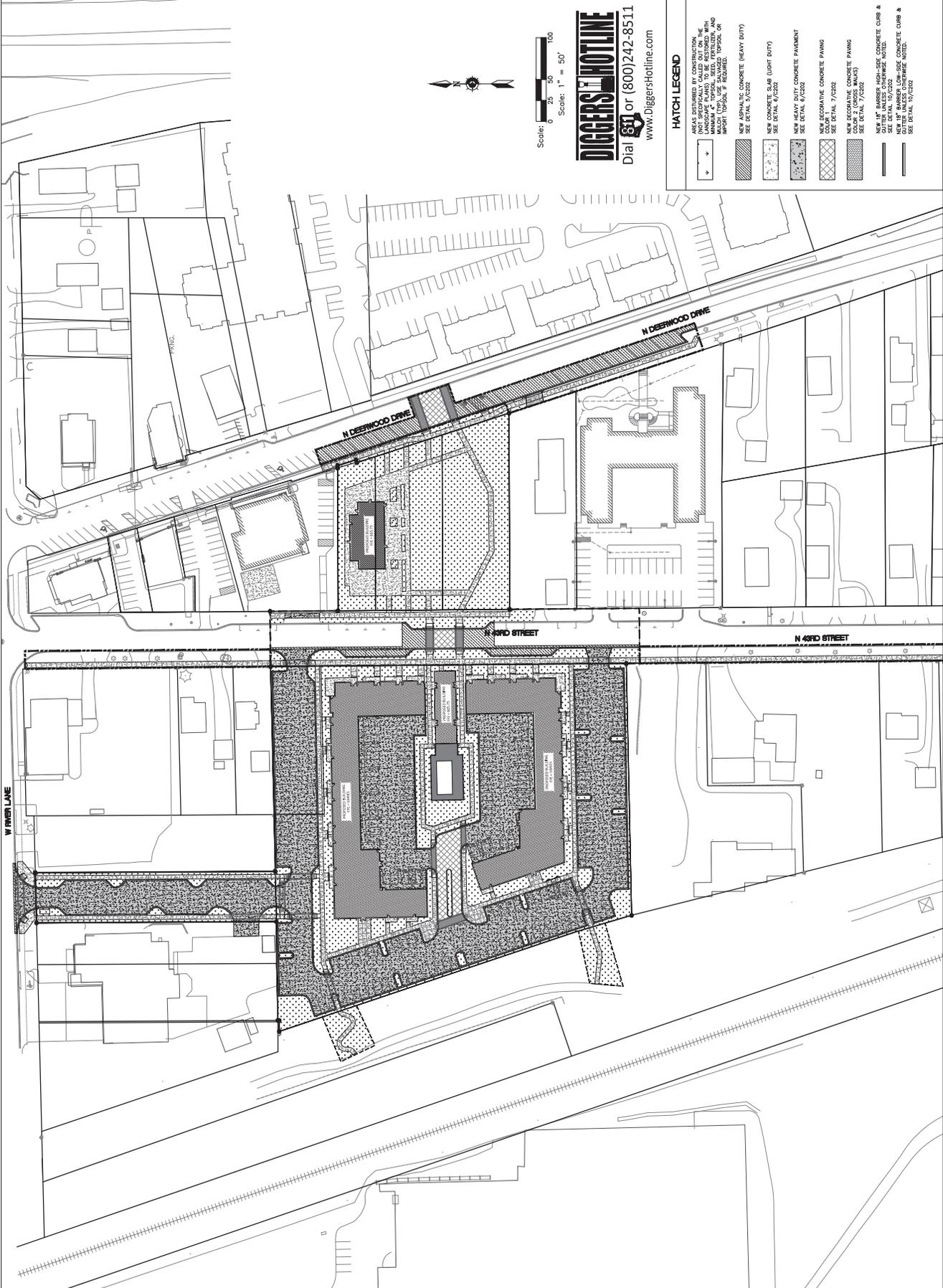
By: _____

Mate Piotrowski, AICP
Community Development Director

Date: _____

Date: _____





Scale: 1" = 50'

DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

HATCH LEGEND

AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO ORIGINAL CONDITION WITH LANDSCAPE PLANTS TO BE RESTORED WITH MULCH (TOP) AND SOIL (BOTTOM) TO BE IMPORTED TO SITE. SEE DETAIL 10/2/02 FOR IMPORT TYPICAL IF REQUIRED.

NEW ASPHALTIC CONCRETE (HEAVY DUTY)
 SEE DETAIL 5/2/02

NEW CONCRETE CURB (LIGHT DUTY)
 SEE DETAIL 6/2/02

NEW HEAVY DUTY CONCRETE PAVEMENT
 SEE DETAIL 6/2/02

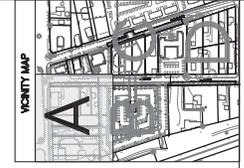
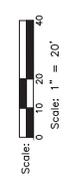
NEW DECORATIVE CONCRETE PAVING
 SEE DETAIL 7/2/02

NEW RECREATION CONCRETE PAVING
 20x40 2 (OR 30x30) SLABS
 SEE DETAIL 7/2/02

NEW 18" BARRIER HIGH-SEE CONCRETE CURB & NEW 18" BARRIER LOW-SEE CONCRETE CURB & SEE DETAIL 10/2/02

NEW 18" BARRIER HIGH-SEE CONCRETE CURB & NEW 18" BARRIER LOW-SEE CONCRETE CURB & SEE DETAIL 10/2/02

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HATCH LEGEND

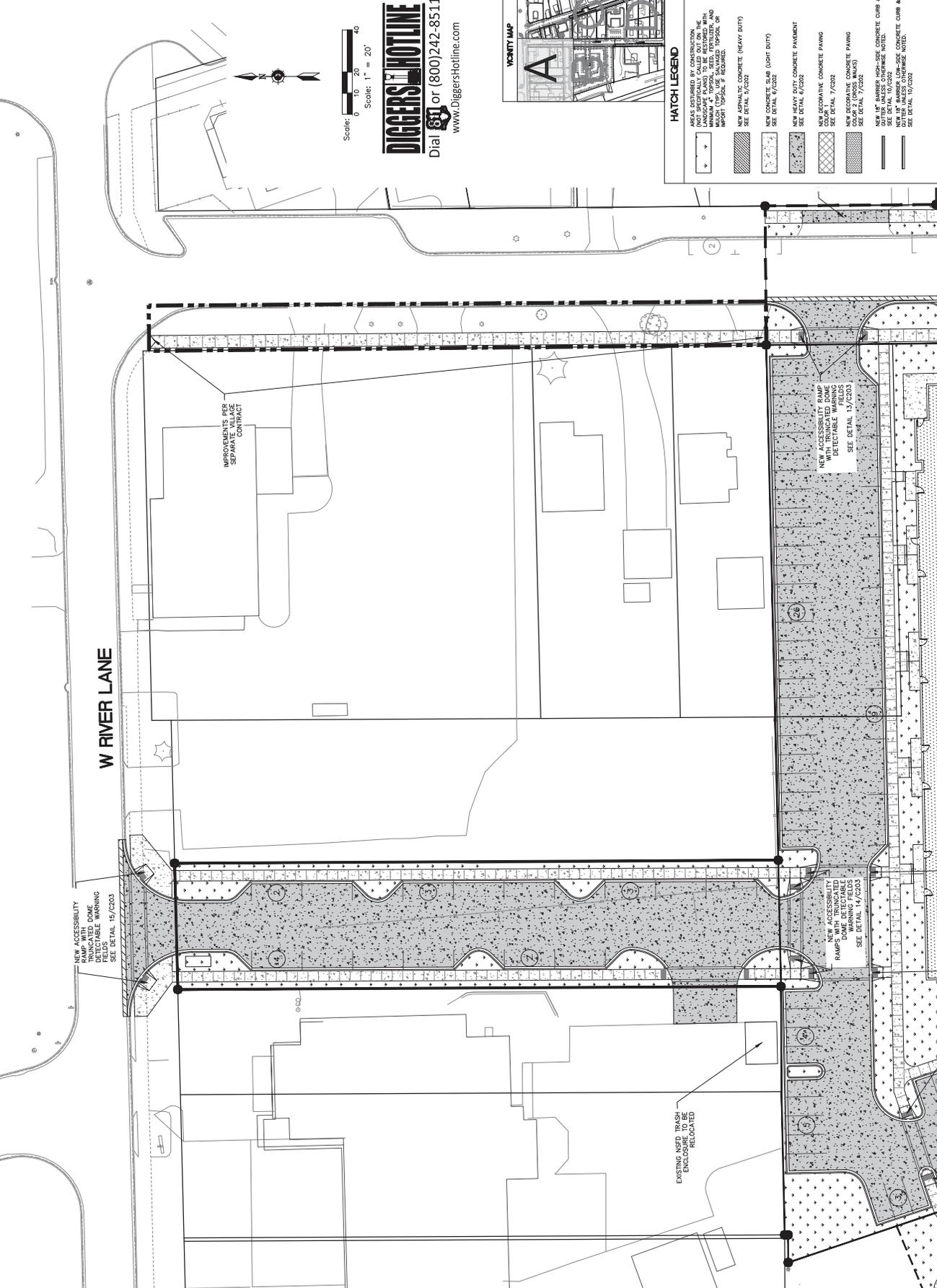
- AREAS DESTROYED BY CONSTRUCTION OF LANDSCAPE PLANS TO BE RELOCATED WITH IMPORT TOPSOIL (TOP) USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
- NEW ASPHALTIC CONCRETE (HEAVY DUTY) SEE DETAIL 5/2/202
- NEW CONCRETE CURB (LIGHT DUTY) SEE DETAIL 6/2/202
- NEW HEAVY DUTY CONCRETE PAVEMENT SEE DETAIL 6/2/202
- NEW DECOACTIVE CONCRETE PAVING SEE DETAIL 7/2/202
- NEW DECOACTIVE CONCRETE PAVING 20x40 2 (ORISS MAJ5) SEE DETAIL 7/2/202
- NEW 18" BARRIER HIGH-RISE CONCRETE CURB & NEW 18" BARRIER LOW-RISE CONCRETE CURB & SEE DETAIL 10/2/202
- NEW 18" BARRIER HIGH-RISE CONCRETE CURB & NEW 18" BARRIER LOW-RISE CONCRETE CURB & SEE DETAIL 10/2/202

VILLAGE OF BROWN DEER - DPM
BROWN DEER, WI
Issue Date: 09/10/2019

RCA Project No.: XXXXXXX
SHEET TITLE
PLAN
SITE LAYOUT
C102A

Sheet No. C102A

PRELIMINARY



W RIVER LANE

NEW ACCESSIBILITY RAMP WITH TRUNCATE DOME DETECTABLE WARNING FIELDS SEE DETAIL 15/2/203

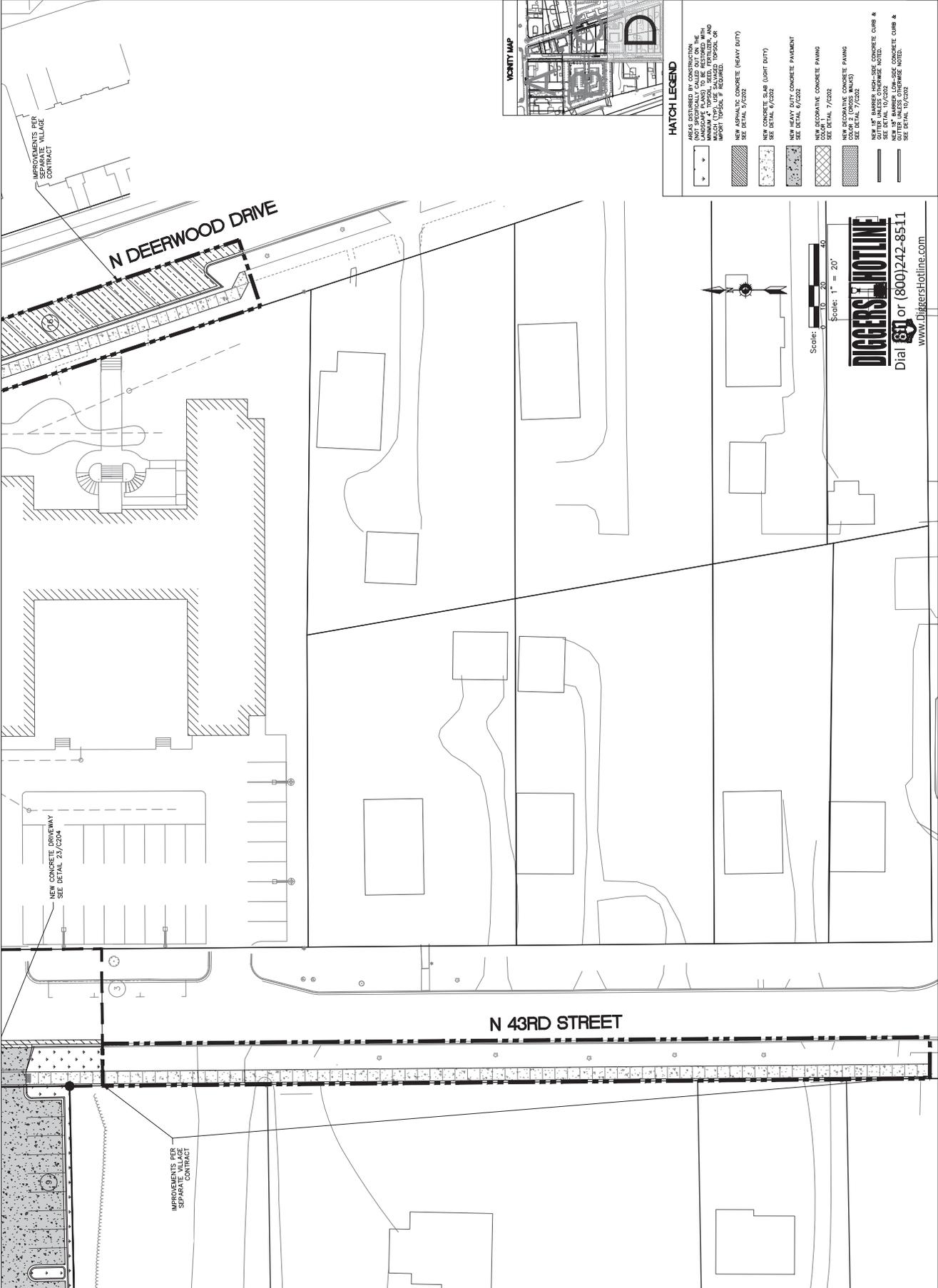
IMPROVEMENTS PER SEPARATE VILLAGE CONTRACT

EXISTING ASP. TRASS ENCLOSURE TO BE RELOCATED

NEW ACCESSIBILITY RAMP WITH TRUNCATE DOME DETECTABLE WARNING FIELDS SEE DETAIL 15/2/203

NEW ACCESSIBILITY RAMP WITH TRUNCATE DOME DETECTABLE WARNING FIELDS SEE DETAIL 15/2/203

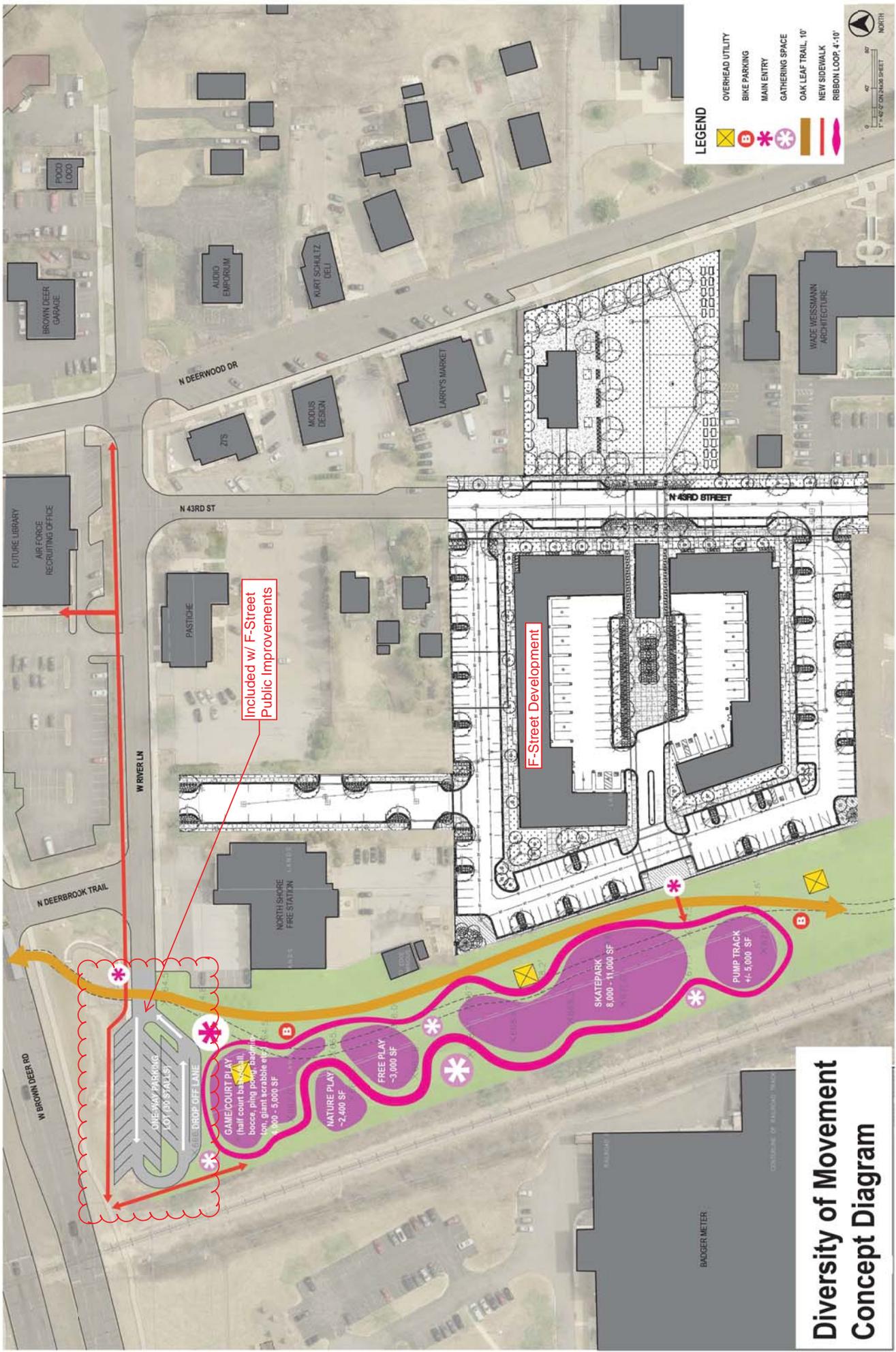
PRELIMINARY



HATCH LEGEND

- AREAS DISTURBED BY CONSTRUCTION OF LANDSCAPE PLANTS TO BE RESTORED WITH IMPORT TOPSOIL (USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED).
- NEW HEAVY DUTY CONCRETE (HEAVY DUTY)
SEE DETAIL 5/2302
 - NEW CONCRETE CURB (LIGHT DUTY)
SEE DETAIL 6/2302
 - NEW HEAVY DUTY CONCRETE PAVEMENT
SEE DETAIL 6/2302
 - NEW DECORATIVE CONCRETE PAVING
SEE DETAIL 7/2302
 - NEW PERMEABLE CONCRETE PAVING
20x40 2 (ORISS WALLS)
SEE DETAIL 7/2302
 - NEW 1/2" BARRIER HIGH-SEE CONCRETE CURB & NEW 1/2" BARRIER LOW-SEE CONCRETE CURB & SEE DETAIL 10/2302
 - NEW 1/2" BARRIER HIGH-SEE CONCRETE CURB & NEW 1/2" BARRIER LOW-SEE CONCRETE CURB & SEE DETAIL 10/2302

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- LEGEND**
- OVERHEAD UTILITY
 - BIKE PARKING
 - MAIN ENTRY
 - GATHERING SPACE
 - OAK LEAF TRAIL, 10'
 - NEW SIDEWALK
 - REBBIAN LOOP, 4'-10'



Included w/ F-Street
Public Improvements

F-Street Development

GAME/COURT PLAY
(half court basketball, bocce, ping pong, badminton, giant scrabble etc.)
4,000 - 5,000 SF

NATURE PLAY
-2,400 SF

FREE PLAY
-3,000 SF

SKATEPARK
8,000 - 11,000 SF

PUMP TRACK
+/- 5,000 SF

Diversity of Movement Concept Diagram

DEVELOPMENT AGREEMENT
Village of Brown Deer/Urban Beets

THIS DEVELOPMENT AGREEMENT (“Agreement”), is made by and between the Village of Brown Deer, Wisconsin (“Village”) and Urban Beets (“Developer”). It is effective the last day of execution by either party.

RECITALS

WHEREAS, Village desires to encourage development, and eliminate and prevent blight within the Village; and

WHEREAS, for these purposes, Village has previously entered into a development agreement with another party to assist in the acquisition and redevelopment of the premises commonly known as 5091 W. Brown Deer Rd. in the Village of Brown Deer, (“The Property”) more particularly described and depicted on **Exhibit A** attached hereto and incorporated herein; and

WHEREAS, the parties to this agreement are aware and acknowledge that the Village has, or will, terminate such prior development agreement, and that such termination will release the parties to such prior agreement and will allow for entry into this Agreement; and

WHEREAS, Developer has entered into an offer to purchase contract with the current owner of the Property; and

WHEREAS, Developer intends to redevelop the Property as an Urban Beets, or similar related fast casual and coffee forward restaurant in accordance with the plans and specifications as attached hereto and incorporated herein as **Exhibit B**; and

WHEREAS, Brown Deer has determined that redevelopment of the Property will serve to encourage development and to eliminate and prevent blight within the Village, and is in the best interests of the Village and its residents, and that the economic vitality of the Village will be substantially enhanced by the development of an Urban Beets location on the Property; and

WHEREAS, the Village Board has determined that a drive-through addition and outdoor dining to the restaurant Urban Beets as contemplated will be in the public interest and will better serve the public and this agreement herein authorizes said conditional uses in lieu of a conditional use permit; and

WHEREAS, Developer has filed or will file with Brown Deer the following plans specifications, documents and exhibits (“Plans and Specifications”) for the development of the Property, it being acknowledged same will be submitted for approval after execution of this Agreement and attached at the time of approval.

1. A Certified Survey Map (“CSM”), plat or survey of the Property, incorporated by reference herein as **Exhibit B**.
2. A schedule showing the name of the Developer and the mailing address and telephone number of certain of Developer’s representatives for the Project (as defined herein) incorporated by reference herein as **Exhibit C**.
3. An accurate topographical map showing topographical data of the Property incorporated by reference herein as **Exhibit D**.
4. A scale plot plan showing the location, type and size of the proposed uses for the Property, including the location, type and size of the proposed structures, driveways, driveway access road(s), parking facilities, open space, screening and landscape plans, including a statistical table showing the size of the site in square feet and acreage, incorporated by reference herein as **Exhibit E**.
5. Architectural drawings of the buildings and structures and sketches showing the design characteristics and treatment of exterior elevations of the proposed structures, incorporated by reference herein as **Exhibit F**. Approval of architectural plans is separately required by the Brown Deer Building Board

WHEREAS, Developer has filed, or will file, with Village an application for use and zoning approvals of the Property, as necessary to accommodate the redevelopment, and Brown Deer has given favorable conceptual approval of the proposed Development Project, including the issuance of a Class B beer only license and a Class C wine license to allow the serving of beer and wine for on premise consumption; and

WHEREAS, the Village Board has determined that it is in the public interest to provide the sum of \$25,000 as municipal assistance to contribute to and assure the development of the site including a drive-through service component; and

NOW, THEREFORE, in consideration of the foregoing Recitals, which are incorporated herein, and the following promises and mutual obligations of the Parties hereto, each of them does hereby covenant and agree, as follows:

ARTICLE I REPRESENTATIONS AND WARRANTIES

Section 1.1 Representations and Warranties of Village. The Village makes the following representations and warranties:

(1) Village is a municipal corporation of the State of Wisconsin and has the power to enter into this Agreement and carry out its obligations hereunder.

(2) Village makes no representation or warranty, either express or implied, as to the Property, or its condition or the soil conditions thereon, or that the Property shall be suitable for Developer's purposes or needs.

(3) Neither the execution and delivery of this Agreement, the consummation of the transactions contemplated hereby, nor the fulfillment of or compliance with the terms and conditions of this Agreement is prevented, limited by or conflicts with or results in the breach of, the terms, conditions or provision of any ordinance, charter, contractual restriction, evidence of indebtedness, agreement or instrument of whatever nature to which Brown Deer is now a party or by which it is bound, or constitutes a default under any of the foregoing.

(4) The execution, delivery and the consummation of the transactions contemplated hereby have been duly authorized and approved by the Brown Deer Village Board. This Agreement constitutes the legal, valid, and binding agreement and obligations of Village, enforceable against it in accordance with its respective terms, except as enforceability thereof may be limited by applicable bankruptcy, insolvency, reorganization, or similar laws affecting the enforcement of creditors' rights generally and by general principles of equity.

(5) There is sufficient capacity within the Village sanitary and storm systems for the Project.

Section 1.2 Representations and Warranties of Developer. Developer makes the following representations and warranties:

(1) Developer is a Wisconsin limited liability company and has the power to enter into this Agreement and to perform its obligations hereunder and is in good standing under the laws of the State of Wisconsin.

(2) Developer will cause the Project to be constructed in accordance with the terms of this Agreement, the Plans and Specifications, and all local, state and federal laws, ordinances and regulations (including, but not limited to, environmental, zoning, energy conservation, building code and public health laws, ordinances and regulations), except for staff approved minor changes to the Plans and Specifications during construction which will not have a material adverse effect on the Project.

(3) The implementation of the Project would not be undertaken by Developer, and, in the opinion of Developer, would not be economically feasible within the reasonably foreseeable future, without the assistance to Developer provided for in this Agreement.

(4) Developer will use its commercially reasonable and diligent efforts to obtain, or cause to be obtained, in a timely manner, all required permits, licenses and approvals for the Project, and will comply, in a timely manner, with all ordinances and regulations which must be met before the Project may be lawfully implemented.

(5) Neither the execution and delivery of this Agreement, the consummation of the transactions contemplated hereby, nor the fulfillment of or compliance with the terms and conditions of this Agreement is prevented, limited by or conflicts with or results in the breach of, the terms, conditions or provision of any contractual restriction, evidence of indebtedness, agreement or instrument of whatever nature to which Developer is now a party or by which it is bound, or constitutes a default under any of the foregoing.

ARTICLE II UNDERTAKINGS BY DEVELOPER AND VILLAGE

Section 2.1 Developer Obligations. Developer undertakes the following obligations:

(1) Developer will build an Urban Beets or similar related fast casual and coffee forward restaurant facility in strict conformity with all plans and specifications as attached hereto and incorporated herein.

(2) Following receipt of all approvals, Developer will commence construction activity no later than May 1 2020.

(3) Developer shall complete the Project on or before __May 1, 2021__, and obtain a certificate of occupancy no later than July 1 2021__.

(4) Developer agrees to develop the Property and to construct all buildings and structures thereon in accordance with the Plans and Specifications herein, However, during the progress of the Project, Developer may make changes to the Plans and Specifications as may be in furtherance of the general objectives of the Plans and Specifications and this Agreement and as site conditions or other issues of feasibility may dictate, to further the Developer's development objectives; provided, however, any such change shall comply with all applicable laws of Brown Deer and Developer may not make any change without the advance approval of Brown Deer (not to be unreasonably withheld or delayed). Brown Deer agrees to consider and approve or reject any proposed change within 30 days after submittal by the Developer to Brown Deer or such approval is deemed given; provided, if Brown Deer's approval is needed within a shorter period of time due to Developer's construction schedule or its obligations under subsection 3.1(1), (2) or (3) above, Brown Deer shall provide such approval or rejection within 10 days of request, and Brown Deer will reasonably cooperate with Developer to facilitate and expedite such review process. Such requests for approval shall be submitted to the Village Manager as representative of Brown Deer.

(5) Developer agrees that should it fail to complete the project in accordance with all plans and specifications, and further fails to obtain occupancy, by the date set forth in subsection 3 above, that it will transfer the entire property to the village, free and clear of all liens and encumbrances of any nature. As consideration for this provision, developer specifically acknowledges that the Village has agreed to rescind a prior development agreement under the terms of which the village had the right to demand the construction of a coffee shop facility, and further the right to demand full or partial refund of municipal assistance previously given to facilitate acquisition of the property in the total sum of \$500,000. Developer further acknowledges that such actions by village are good and adequate consideration for this reversionary clause. This clause is considered satisfied upon the obtaining of occupancy.

(6) The Developer shall landscape in accordance with a Landscaping Plan as approved by the Village Beautification Committee (**Exhibit G**). All landscaping on the Property shall be maintained by the Developer or its successor in a state of good maintenance and repair as reasonably determined by the Village Manager and in the event of default thereof, the Village may provide written notice to the Developer. If the Developer fails to correct the default within no less than 30 days after such notice is delivered to the Developer, subject to Force Majeure (and adverse weather conditions), the Village may do so and assess the cost against the Property, consistent with Wisconsin Statutes section 66.0627. Grass of a variety typical of sod and not to include that of a native prairie style or decorative grasses designed for greater lengths shall be kept cut to a height of not more than four (4) inches. Landscaping for this purpose shall mean bushes, shrubbery, trees, grass and other items or appurtenances necessary to maintain a pleasing and attractive appearance. Dead trees, bushes and shrubbery, shall be removed and immediately replaced at the direction of the Village Manager or his designee and in accordance with the Landscaping Plan (**Exhibit G**).

(a) Vegetation shall be kept trimmed back from around lighting fixtures, fire hydrants and any other utilities that extend from the ground or buildings.

(7) Signs on the premises shall, at all times, conform to Village sign regulations as found in Chapter 121 of the Brown Deer Village Code.

(a) All external signs and subsequent changes shall be submitted for review and approval by the Village of Brown Deer Building Board. This document does not grant approval of signage.

(8) The Project shall be appropriately illuminated in order to protect public safety.

(a) An exterior lighting plan shall be reviewed and approved by Brown Deer as part of the approval process.

(b) Illumination of off-street parking and loading areas shall be arranged to shield the adjacent properties and streets from direct rays of light and glare. No Project lighting shall trespass more than 0.1 foot candles of horizontal illumination across adjoining or nearby residentially zoned property lines and no more than 0.5 foot candles of horizontal illumination across adjoining or nearby commercially zoned property lines as measured twelve (12) inches above grade.

(c) All lighting fixtures shall be maintained in working order.

(9) The Developer shall provide parking spaces to serve the building in accordance with the requirements of Chapter 121 of the Village Code.

(a) The parking lots shall not be used by rental agencies for parking of rental trailers, trucks, automobiles, or other vehicles, unless said vehicles are accessory to the approved use of the Project.

(b) The parking of motor vehicles, with attached advertising graphics and/or logos, intended to act as additional signage for the Project is prohibited, unless said vehicles are accessory to the approved use of the Project and or one supplemental food truck

(c) Exterior parking storage of recreation vehicles, structures, un-mounted campers or un-mounted boats or snowmobiles is prohibited.

(d) The Developer shall prohibit the use of parking on the premises that is not accessory to the existing building use therein. Junk and/or abandoned vehicles shall be removed by the Developer within five (5) days upon receipt of written notification from the Village.

(e) Snow storage within the parking area shall not interfere with the orderly flow of traffic and shall not obstruct any vision triangles.

(f) The Developer shall provide a facility for the securing and parking of bicycles on the exterior of the facility.

(g) All pavement markings and crosswalks shall remain in a state of good repair.

(h) The number of on-site parking spaces provided by the Developer as shown in Exhibit is ____spaces. Based on Section 121-299 of the Brown Deer Village Code, the required number of spaces for the Development may be higher or lower; however, the determination of the Village Board is to allow for the flexibility of parking standards in conjunction with Section 121-298 and the Village Board thereby deems that the provided number of spaces is sufficient for the Development.

(10) All applicable permits/licenses/approvals shall be obtained prior to commencing construction and/or operation of the Project.

(11) The outdoor dining area shall adhere to the following:

(c) Furniture should be of solid wood, stone, steel or wrought iron. Trash and recycling receptacles shall be provided for the patio dining area per Exhibit B.

(d) Umbrellas, if utilized, shall be made of a solid color cloth material and shall not contain any advertising.

(e) The outdoor seating area shall be subject to review buy the North Shore Health Department.

(12) The drive-through shall be screened from the adjacent property by plantings or other features, as depicted on the landscape plans approved by the Village Beautification Committee. The menu board shall conform to applicable Village sign standards found in Section 121 of the Village Code and the volume of the drive-through audio system shall be limited to 50 decibels.

(13) The hours of operation of the café shall be earlier than 5:00am or later than 12pm.

(13) If there are any code, law, ordinance or regulation violations, deficiencies, or any hazardous conditions with respect to any use of the Project or any building or site improvements on the Project, the Developer shall correct any hazardous conditions immediately and shall correct any other deficiencies or violations within thirty (30) days of written notification, or if such deficiencies or violations cannot be cured within thirty (30) days, then a reasonable period of time provided the Developer promptly commences and diligently pursues such cure. This provision does not limit the Village from taking any other action not otherwise inconsistent with this Agreement to enforce any provisions of the Village ordinances or this Agreement.

Section 2.2 Village Obligations. Brown Deer undertakes the following obligations:

(1) Brown Deer shall timely complete all necessary or required zoning, development and use approvals for the Project pursuant to applicable Village Ordinances, including the approval processes necessary for the beer and wine licenses hereinbefore described.

(2) Village shall pay to developer the sum of \$25,000 in consideration of the construction of the drive-through service facility on the premises forthwith upon issuance of an occupancy permit for the operation of the Urban Beets or similar related fast casual and coffee forward restaurant. If another coffee user with

associated drive-through facilities is approved and under construction within .5 miles of the site and within 18 months of approval of this agreement the Developer would no longer be required to complete the drive-through service component in order to receive the \$25,000 payment.

(3) Village shall waive all Community Services Department fees. Said fees relate specifically to Building Inspection and Zoning application fees only. Fees charged by other Village Departments or other outside entities remain in effect.

ARTICLE III COVENANTS RUNNING WITH THE LAND

This Agreement constitutes the entire Agreement between the Parties, and all provisions of this Agreement shall be deemed to be covenants running with the land described on **Exhibit A** and shall be binding upon successors and assigns for the Term of this Agreement.

ARTICLE IV PROOF OF TITLE

Before this Agreement is executed, Developer shall have furnished to Brown Deer satisfactory evidence of title in the Developer Property or satisfactory proof that it has a contract or contract and the right to obtain marketable title to the Developer Property.

ARTICLE V REMEDIES

Section 5.1 In the event village shall default on its obligations under this agreement. Developer shall have available the following remedies:

- (1) Injunctive relief,
- (2) Action for specific performance; and
- (3) Action for money damages.

Section 5.2 In the event Developer does not complete construction of the project and the procurement of the certificate of occupancy within the time frames as required herein, village shall have the following remedies:

- (1) Village may withhold and be relieved of the obligation to pay the sum of \$25,000 as otherwise required under the terms of this agreement.

(2) Village shall be entitled to take title to the entire property as provided by the reversionary clause set forth in Section 2.1 (5) above.

Section 5.3 Mediation. Prior to litigation, and as a condition precedent to bringing litigation, any Party deeming itself aggrieved under this Agreement shall be obligated to request non-binding mediation of the dispute. Mediation shall proceed before a single mediator. The Parties shall agree upon a mediator and if they fail to do so within 30 days either Party may apply to Resolute Systems, Inc., for the designation of a mediator. In the event the Parties do not accept the mediator's recommendation, the aggrieved Party may then commence an action. However, the Parties shall agree to alternative dispute resolution, if ordered by the Court.

ARTICLE VI AMENDMENT

This Agreement may be rescinded, modified or amended, in whole or in part, by mutual agreement of the Parties hereto, their successors and/or assigns, in writing signed by all Parties.

ARTICLE VII MISCELLANEOUS PROVISIONS

Section 7.1 Execution in Multiple Counter Parts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original but all of which together shall constitute one and the same instrument.

Section 7.2 Construction. The Parties acknowledge and represent that this Agreement has been the subject of negotiation by all Parties and that all Parties together shall be construed to be the drafter hereof and this Agreement shall not be construed against any Party individually as drafter.

Section 7.3 Legal Relationship. Nothing in this Agreement shall be construed to create an employer/employee relationship, joint employer, joint venture or partnership relationship, or a principal/agent relationship.

Section 7.4 Survival. All agreements, representations, covenants and warranties made herein shall survive the execution of this Agreement and the making of the grants hereunder. This Agreement shall be binding upon the Parties, their respective successors and assigns.

Section 7.5 No Waiver. The failure of any Party to require strict performance of any provision of this Agreement will not constitute a waiver of the provision or of any other of that Party's rights under this Agreement. Rights and obligations under this Agreement may only be waived or modified in writing. A writing waiving a right must be signed by the Party waiving the right. If an obligation of a Party is being waived or released, the writing must be signed by the affected parties. Waiver of one right, or release of one obligation, will

not constitute a waiver or release of any other right or obligation of any Party. Waivers and releases shall affect only the specific right or obligation waived or released and will not affect the rights or obligation of any other Party that did not sign the waiver or release.

Section 7.6 Severability of Provisions. If any provision of this Agreement shall be held or declared to be invalid, illegal or unenforceable by reason of its being contrary to any applicable law, such provision shall be deemed to be deleted from this Agreement without impairing or prejudicing the validity, legality or enforceability of the remaining provisions.

Section 7.7 Law Governing. This Agreement will be governed and construed in accordance with the laws of the State of Wisconsin.

Section 7.8 Notices and Demands. Except as otherwise expressly provided in this Agreement, a notice, demand or other communication under this Agreement by any Party to any other shall be sufficiently given or delivered if it is dispatched by registered or certified mail, postage pre-paid, return receipt requested, or delivered personally, and

- (a) in the case of Developer is addressed to or delivered personally to:

Urban Beets

- (b) in the case of Brown Deer is addressed to or delivered personally to:

Village Brown Deer
4800 West Green Brook Drive
Brown Deer, WI 53223-2496

Attn: Village Manager

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date indicated.

Dated: _____

URBAN BEETS

By _____
Name _____
Title _____

Dated: _____

VILLAGE OF BROWN DEER, WI

MILWAUKEE COUNTY) ss
)

Personally came before me this ____ day of _____, 2019, the above-named _____, the Village President and _____, the Village Clerk of the Village of Brown Deer, a Wisconsin municipal corporation, to me known to be the person who executed the foregoing instrument and acknowledged the same, as the act and deed of said corporation, by its authority.

Notary Public, State of Wisconsin
My Commission expires:_____

LIST OF EXHIBITS

**INFORMAL GATHERING
NOTICE OF POSSIBLE QUORUM OF VILLAGE BOARD
NO VILLAGE ISSUES WILL BE DISCUSSED; NO ACTION WILL BE TAKEN
Monday, December 16, 2019**

Time: **7:30 p.m. – 10:30 p.m.**

Place: **Pastiche, 4314 West River Lane, Brown Deer**

The purpose of this notice is to notify the public that there may be a possible quorum of the Village Board at Pastiche for a Holiday Gathering. No Village matters will be discussed, and no action will be taken.

Jill Kenda-Lubetski, Village Clerk
December 12, 2019



Dates: 12/16/2019

BOARD

Continuing to recruit a person for the 4th of July Committee.

Attended joint meeting with the Brown Deer School District Board on Monday, December 9th, 2019.

Submit article for Brown Deer magazine.

Had a interview conducted by Baker-Tilly for the NSFD audit process.

STAFF

Working with Michael Hall to secure regularly scheduled dates for Village and School Board representatives to meet.

MEETINGS

Attended Town Hall Meeting for School Board Superintendent.

Met with Kevin Klimek, School Board President

Contacted by several potential candidates for the position of County Executive to solicit my support.

Attended the ICC meeting. There were two presentations from Public Policy about shared services and League of Municipalities. The LOM provided updates on three pieces of legislation. I'm attaching to my report.

Attended the NSFD monthly meeting. We approved the firefighter contract for the next two years.

Invited to several introductory/informational meeting for DNC convention.

CONSTITUENTS

Responded to several emails and Facebook posts from residents as it relates to upcoming meetings or items that had been discussed.

EVENTS

Attended the Annual Tree Lighting event.

Attended Holiday Vendor fair at School District.

Wanda Montgomery
Village of Brown Deer President